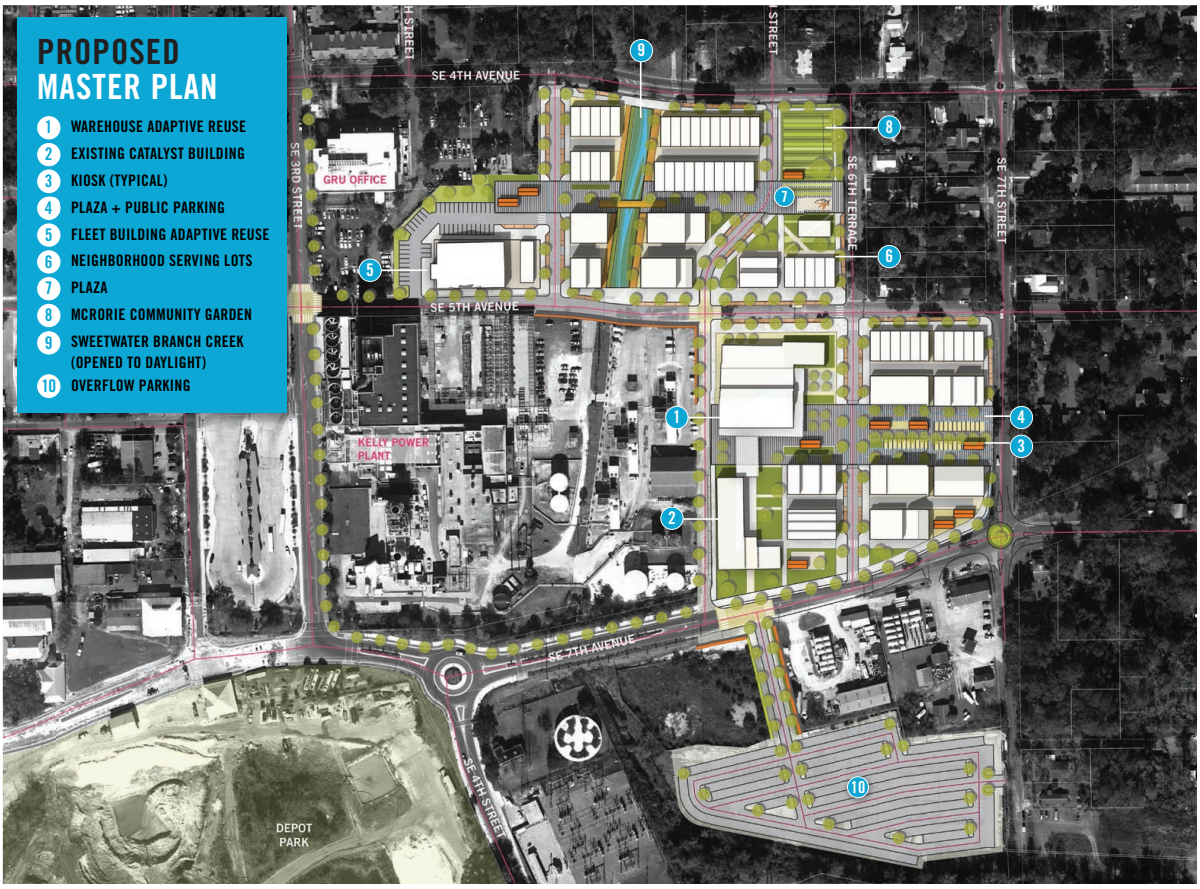
POWER DISTRICT
BUILDING NEEDS ASSESSMENTS



May 2015

Gainesville Community Redevelopment Agency

POWER DISTRICT

WALKER ARCHITECTS with MOSES & ASSOCIATES ENGINEERING

TABLE OF CONTENTS

INTRODUCTION

The Power District is located between Downtown Gainesville and Depot Park. This district of predominantly former industrial buildings grew around the Gainesville Regional Utilities (GRU) headquarters on the southern edge of Downtown which extends southeast over several blocks beginning with GRU's office building at the corner of SE 5th Avenue and SE 3rd Street. GRU's complex includes the administrative buildings, the Kelly Power Plant (constructed 1912), as well as various operational facilities.

In 2008 GRU planned to relocate from its downtown complex to a new facility north of the City. At that time, the Gainesville Community Redevelopment Agency (GCRA) commissioned a planning study that was formally adopted as a Redevelopment Plan for the land that GRU intended to vacate. In the ensuing years, GRU's facilities' plans evolved to continue operating the downtown complex (specifically, office building and power plant) but vacate approximately 13 acres of land and buildings which form the core of this study area. Although the Power District is more than just the land that GRU is opening for development, this core 13 acres will be used to spark development and set a standard for quality throughout the larger Power District.

In 2011, the GCRA renovated a former GRU building in the redevelopment area, turning an under utilized building into the Catalyst Warehouse, a space for tech-oriented economic development that is presently leased to a local robotics company. The 2013 "Redevelopment Plan Update" expands the investment made in the Catalyst building by laying out a development framework that will serve as a platform for economic growth and investment in the community while improving the quality of life in the Power District and surrounding neighborhoods.

This Power District Building Needs Assessment focuses on eight existing structures totaling approximately 75,000 square feet within the Power District to assess their condition and their potential for renovation and repurposing as a possible interim phase of redevelopment.

LEGEND

Building A - Fleet Garage
12,225 Square Feet

Building B - Fleet Building
1,600 Square Feet

Building C - Water Waste Water Building
5,171 Square Feet

Building D - Field Services Building
3,129 Square Feet

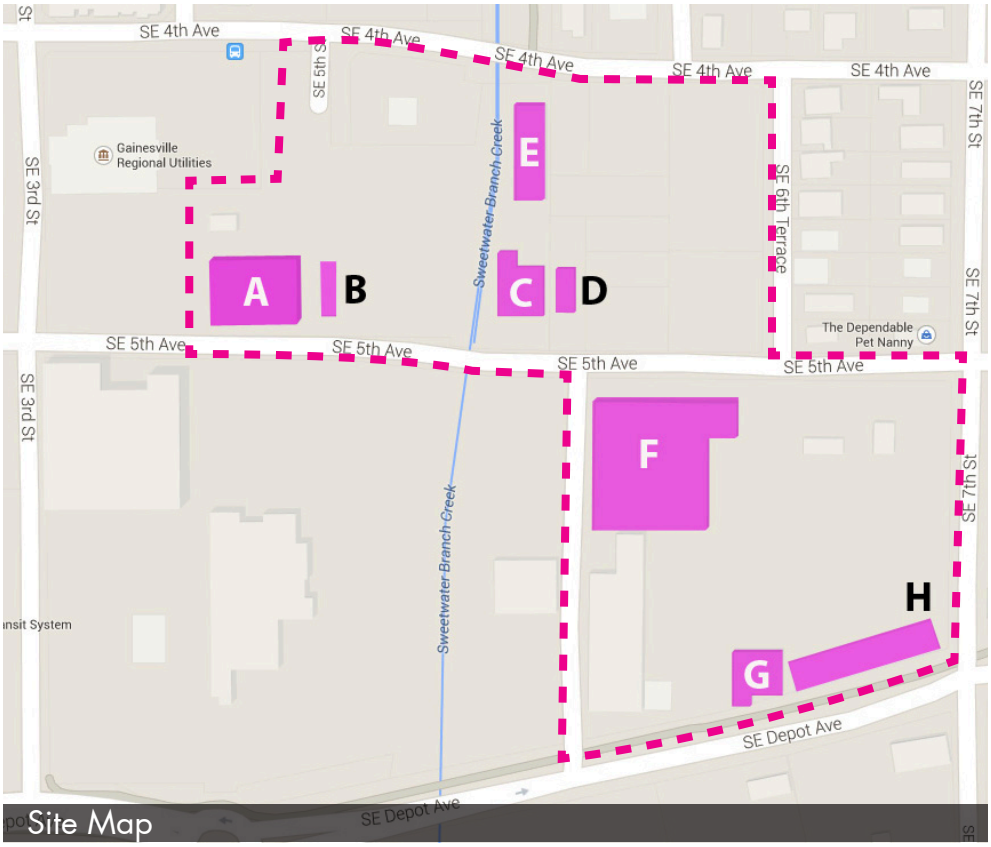
Building E - Water Waste Water Ready Room
5,633 Square Feet

Building F - Operations Center & Warehouse
36,660 Square Feet

Building G - Carpenters Shop Building
3,917 Square Feet

Building H - Water Distribution Construction Building
8,640 Square Feet

Power District Boundary



Site Map

Scope of Services

The intention of this report is to summarize the current condition of eight buildings and to give general information on the level of infrastructure investment required to repurpose each building. The format of the report is intended to help end users quickly understand the existing conditions of each building and their organization, potential uses, environmental remediation requirements and cost implications of anticipated uses. We have employed graphical communication strategies where possible to facilitate transfer of important information.

Summary Overview

This Building Needs Assessment report for Buildings A, B, C, D, E, F, G, and H at the Power District includes a review of the each existing building space and systems to assess the practicality of renovating the spaces to suit the needs of future occupants.

The information contained in this document summarizes discussions held with the Gainesville Community Redevelopment Agency (GCRA) and design professionals.

Analysis of architectural systems is provided by Walker Architects, Inc., analysis of mechanical, electrical, and plumbing systems by Moses & Associates, Inc., and analysis of structural systems by Sputo and Lammert Engineering, LLC. GLE Associates, Inc. performed asbestos, lead, and mold surveys of each building. Termite inspections were performed by McCall Service, Inc.

This report will first give a brief overview of each building, including square footage and general condition, followed by a detailed assessment of individual building conditions and recommendations for renovation.

The table below contains summarized findings of the Asbestos, Lead, Mold, and Termite Surveys performed at Buildings A through H.

	SURVEY FINDINGS			
BUILDING NAME	Asbestos	Lead	Mold	Termites
Building A - Fleet Garage	Yes	Yes	Yes	Yes
Building B - Fleet Building	No	Yes	Yes	No
Building C - Water Waste Water Building	Yes	Yes	Yes	No
Building D - Field Services Building	Yes	Yes	Yes	Yes
Building E - Water Waste Water Ready Room Building	Yes	No	Yes	No
Building F - Operations Center and Warehouse	Yes	Yes	Yes	Yes
Building G - Carpenters Shop Building	Yes	Yes	Yes	Yes
Building H - Water Distribution Construction Building	Yes	Yes	Yes	Yes

BUILDING A - FLEET GARAGE

Building Location: 400 Southeast 5th Avenue, Gainesville, FL 32601

Building Size: 12,225 GSF

Number of Floors: 2

Property Type: Warehouse/Office Support

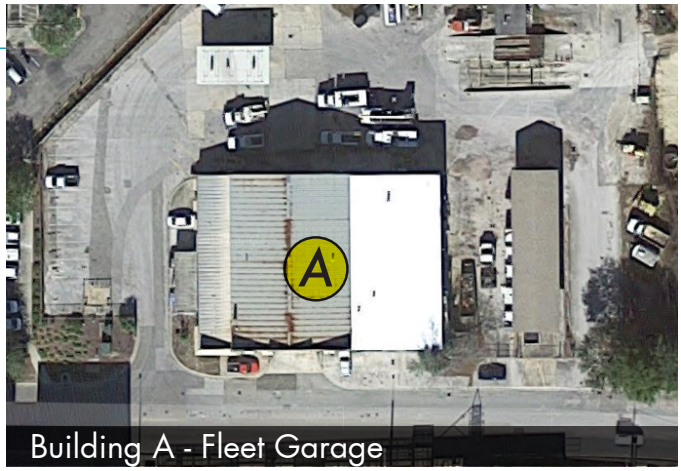
Property Use Type: Vacant Warehouse

Area Square Footages:

- Ground Floor: 11,228 GSF
- Mezzanine: 997 GSF

Square Footage By Type
(Does not include Restrooms, Corridors, or Vestibules):

- Business: 2,336 NSF
- Storage: 841 NSF
- Garage: 7,549 NSF



Building A - Fleet Garage

Initial survey of the entire facility revealed that most building components are in moderate/poor condition and may be reused, relocated or sold as deemed appropriate by the Owner. The facility is well suited for a manufacturing use to take advantage of the warehouse type space. Conditioning the existing facility and bringing the envelope up to current code requirements is possible, but would be costly.

BUILDING A - FLEET GARAGE: STRUCTURAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings available). All indications are that the foundation system is performing as designed without issue.	
Wall Systems	Exterior Type 1 - CMU. Exterior masonry is in fair condition. Minimal exterior cracks were observed. Paint is in poor condition and repainting is recommended. No wall insulation was observed.	Interior partitions should be removed and replaced rather than refinished.
	Interior Type 1 - Paint on CMU. In general, the interior CMU walls are in good condition.	
	Interior Type 2 - Paint or vinyl wall covering on gypsum wall board or wood paneling with wood stud framing. Finishes are in bad condition.	
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	
	Type 2: Office Mezzanine - Concrete with wood subfloor overbuild	
	Warehouse Floors - Concrete slab on grade	
Roof	Metal roof panels on wood purlins on wood/steel truss system.	In general, the roof is in fair condition. Several locations were noted to have pinholes, but the roof is intact. Roof replacement is recommended for a change in use of the facility. No roof insulation was observed.

Deteriorating Exterior Paint On CMU

Deteriorating Interior Wall Finishes

Roof System

BUILDING A - FLEET GARAGE: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	The existing windows appear to be the original single pane glass. Many openings are cracked or missing.	If the structure is deemed historically significant, the fenestration will require rehabilitation. Otherwise, full replacement of windows is recommended.
Exterior Doors	Type 1: Hollow Metal Doors. Surface rust was noted on exterior hollow metal doors.	In general, exterior door hardware is in poor condition and full opening replacement is recommended.

BUILDING A - FLEET GARAGE: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	Office Floors - Offices have three different types of floors installed. No floor cracking or severe wear was observed.	The office areas should be completely renovated if they are to be reused.
	System 1: Carpet. Glued down sheet carpet is in poor condition. (Located In several office spaces)	
Ceiling System	Type 1: Lay-in acoustic ceiling tile. Most of the existing ceiling system is In poor condition and replacement is recommended. Batt insulation is present on top of the ceiling tile system.	
	Type 2: Warehouse spaces are exposed to the building structure.	

Office With Sagging Ceiling Tiles And Worn Carpeting

Office Area With Worn Carpeting

Break Room With Cement Floor

BUILDING A - FLEET GARAGE: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are old and obsolete.	Gut and replace all electrical systems.
Emergency Lighting	None exists.	
General Lighting	Old and obsolete T12 fluorescent fixtures. Old and noisy HID high bays in warehouse.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete; poorly installed and routed.	

BUILDING A - FLEET GARAGE: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Maintenance Bays	Cooling: The maintenance bays in Building A are not mechanically cooled.	Demolish and replace existing cooling and heating units with new heat pumps and controls.
	Heating: The main maintenance bay has LP gas unit heaters installed. The heaters appear to be in serviceable condition. The northeast bay is heated by an LP gas fan heating unit with uninsulated galvanized steel ductwork. The heating unit appears to be in serviceable condition.	Demolish existing process ductwork not connected to equipment.
		Demolish existing process ductwork not connected to equipment.
	Ventilation: Maintenance bay ventilation consists of operable doors and wall-mounted propeller exhaust fans (total of five). The exhaust fans are rusted and appear to be beyond their expected serviceable life.	Replace propeller ventilation fans serving maintenance bays.
Storage Rooms	Storage areas in this building are not conditioned or ventilated.	Provide outside air energy recovery unit to supply ventilation air where natural ventilation is not available.
Offices	Cooling: Offices are cooled by a combination of split-system AC units, window AC units and a packaged AC unit. All units are past their expected serviceable life. The second floor heat pump does not have code-required access for maintenance. Most ductwork is comprised of flexible duct attached to galvanized mains. All visible ductwork is in poor condition.	Demolish and replace existing cooling and heating units with new heat pumps and controls.
	Heating: Heating in office areas is provided as part of each cooling system.	
	Ventilation: Existing ventilation is provided by operable windows in most spaces. Some office areas do not have exterior openings or ducted outdoor air.	Provide outside air energy recovery unit to supply ventilation air where natural ventilation is not available.

BUILDING A - FLEET GARAGE: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Toilet Rooms	Building A has two toilet rooms downstairs and one upstairs. The plumbing fixtures in the toilet rooms are very old and obsolete.	Demolish existing plumbing fixtures and piping in toilet rooms back to utility connections. Install new fixtures to meet current code requirements.
Piping	Existing water and waste piping is concealed.	
Hot Water Systems	An existing electric water heater is located in the west toilet room. Water heater casing appears to be damaged.	Demolish existing water heating system. Install water heaters as necessary for new layout.
Gas System	There are a total of five LP gas tanks serving Building A. These tanks appear to be in serviceable condition.	Hire LP gas supplier to inspect tanks, piping and regulators, and replace as needed.
Other	Maintenance bays are piped with multiple process system piping including automatic transmission fluid, grease, compressed air, and process water. The equipment requiring these services is no longer in place. Multiple water coolers, which are old and obsolete, are placed throughout the building.	Demolish existing process piping. Demolish existing water coolers and sinks. Install new water coolers and sinks to serve new tenant layout.

West Toilet Room with Water Heater

Existing HVAC Equipment

Maintenance Bay with Ductwork

BUILDING A - FLEET GARAGE: ASBESTOS, LEAD, MOLD, AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	Drywall with joint compound and composite in Lounge, Restrooms 116 and 117, east central office, southwest storage room ceiling.	 Mitigate all asbestos.
	12" x 12" white floor tile with brown mastic in Northwest office area and restroom 106 (under carpet, except for Restroom 106).	
	Black caulk in hatched windows in doors throughout interior.	
	Gray window glazing in perimeter metal framed windows.	
	White/gray caulk on exterior windows.	
	Silver roof coating on west room.	
Lead	Light blue paint on wood cabinets and trim in west restroom, Restroom 104.	 Mitigate all lead.
	Wood walls of offices, in the area of Business 102 and 103, Corridor 104, and Vestibule 105.	
	Blue paint on metal door in vestibule 116, next to lounge/kitchen, Business 110.	
	Blue paint on wood door and frames in lounge/kitchen, Business 110.	
	Tan paint on wood door and trim in electrical closet below mezzanine.	
	Tan paint on metal stairs and rail in stairs to mezzanine, Business 113.	
	White paint on upper concrete walls throughout interior of building.	
	Gray paint on lower concrete walls in west rooms and central room, Garage 100.	
	Gray paint on various wood doors and frames throughout interior of building.	
	Gray paint on various metal doors throughout interior of building.	
	Tan paint on concrete walls throughout exterior of building.	
Mold	Mold was found.	 Mitigate all mold.
Termites	Evidence of subterranean termites was found.	 Treat for termites.

Complete environmental technical reports are available as supplemental documents.

BUILDING A - FLEET GARAGE

General Condition Conclusion

The warehouse area is in fair condition and could be used as-is for manufacturing or warehouse uses that do not require significant humidity or temperature control. The office areas should be completely renovated if they are to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes. The existing second floor office suite is not accessible and can be used for non-public access functions only, provided that a duplicate function exists on the ground floor.

See Sheet LS100 in Section 1.4 for conducted building code analysis on existing structure.

Toilet rooms do not appear to meet current FBC 2010 requirements.

Life safety and egress requirements do not appear to meet current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are not compliant with the current code requirements.


Building A - Fleet Garage

Critical Repairs Needed

In order to prevent further decline, immediately replace all exterior windows and doors.

Potential Future Reuse

Building A could be repurposed as:

- Auto Repair / Vehicle Maintenance Facility
- Industrial Manufacturing
- Club or Restaurant
  (Significant infrastructure upgrades would be required.)
- Mugs and Movies

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$293,724
Roof	$502,695
Windows and Doors	$247,670
Interior Finishes	$280,108
MEPF Systems	$426,245

Power District Building A - Fleet Garage					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business-Total of 1st & 2nd levels)	2,290	SF	$10.00	$22,900.00	
Selective Demolition (Warehouse)	9,935	SF	$2.25	$22,353.75	
Termite Mitigation	1	LS	$2,500.00	$2,500.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	12,225	SF	$4.00	$48,900.00	
					$96,653.75
Division 3					
Slab on Grade	50	CuY	$225.00	$11,250.00	
Concrete Floor Patch	0	SF	$3.00	$0.00	
					$11,250.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$15,000.00	$15,000.00	
Second Floor Egress Stair Repairs	1	LS	$10,000.00	$10,000.00	
New Handrails/Guard Rails for Stairwells	60	LF	$150.00	$9,000.00	
					$34,000.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	12,225	SF	$25.00	$305,625.00	
					$305,625.00
Division 8					
Repair Existing Clerestory Windows	16	ea	$750.00	$12,000.00	
Repair/Replace Existing Windows	8	ea	$550.00	$4,400.00	
New Exterior Doors	6	ea	$1,500.00	$9,000.00	
New Interior Doors	21	ea	$1,200.00	$25,200.00	
					$50,600.00
Division 9					
Painted Plaster Walls & Patching	12,225	SF	$3.50	$42,787.50	
New Painted GWB Walls	0	SF	$15.50	$0.00	
Repair Existing Floor	250	SF	$15.00	$3,750.00	
Paint Existing Plaster Ceiling	6,500	SF	$5.00	$32,500.00	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	400	SF	$10.00	$4,000.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$83,037.50
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
New HC Lift	1	EA	$45,000.00	$45,000.00	
					$45,000.00
DIVISION 2-14 SUB-TOTAL					**$626,166.25**
MEPF SYSTEMS					
HVAC (Business)	2,290	SF	$17.50	$40,075.00	
HVAC (Warehouse)	9,935	SF	$5.50	$54,642.50	
Electrical/AV/IT (Business)	2,290	SF	$12.25	$28,052.50	
Electrical/AV/IT (Warehouse)	9,935	SF	$7.50	$74,512.50	
Plumbing (Business)	2,290	SF	$5.25	$12,022.50	
Plumbing (Warehouse)	9,935	SF	$2.00	$19,870.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$229,175.00**
SUB-TOTAL					**$855,341.25**
Contingency @ 20%					$171,068.25
SUB-TOTAL with Contingency					$1,026,409.50
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$82,112.76	$82,112.76
Contractor's OH&P @ 18%					**$184,753.71**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**12,225**	**SF**	**$106.00**		**$1,293,275.97**
				Rounded Value	$1,294,000.00
Estimated Core & Shell New Construction	**12,225**	**SF**	**$175.00**	$2,139,375.00	
Estimated demolition of existing structure	**12,225**		**$15.00**	$183,375.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$2,322,750.00**
Estimated Business space build out	**2,290**	**SF**	**$100.00**	$229,000.00	
Estimated Warehouse space build out	**9,935**	**SF**	**$50.00**	$496,750.00	
TOTAL ESTIMATED COST (Typical interior Build Out)					**$725,750.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**12,225**	**SF**	**(~$250/SF)**		**$3,048,500.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING A - FLEET GARAGE

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	STORAGE (S1/S2)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	2 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	17,500 GSF

GROSS BUILDING AREA

GROUND FLOOR GROSS AREA:	11,228 GSF
MEZZANINE FLOOR GROSS AREA:	997 GSF
TOTAL GROSS FLOOR AREA:	12,225 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

GROUND FLOOR:		
NET FLOOR AREA (B)(1 OCC./100 GSF):	1691 NSF	(17)
NET FLOOR AREA (STORAGE)(S2)(1 OCC./300 NSF):		
NET FLOOR AREA (STORAGE/MECH.)(1 OCC./300 NSF):	8151 NSF	(28)
OCCUPANT LOAD :		45 OCC.
MEZZANINE FLOOR:		
NET FLOOR AREA (B)(1 OCC./100 GSF):	462 NSF	(5)
NET FLOOR AREA (STORAGE/MECH.)(S1/S2/M)(1 OCC./300 NSF):	242 NSF	(1)
OCCUPANT LOAD:		6 OCC.
NET FLOOR AREA:	10,546 NSF	
TOTAL OCCUPANT LOAD:		46 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	STORAGE (S1/S2)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY, 1 REQUIRED FROM MEZZANINE
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	0 HOUR RATED
FLOOR TO FLOOR SEPARATION:	0 HOUR RATED
S2 (GARAGE) & B1	2 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

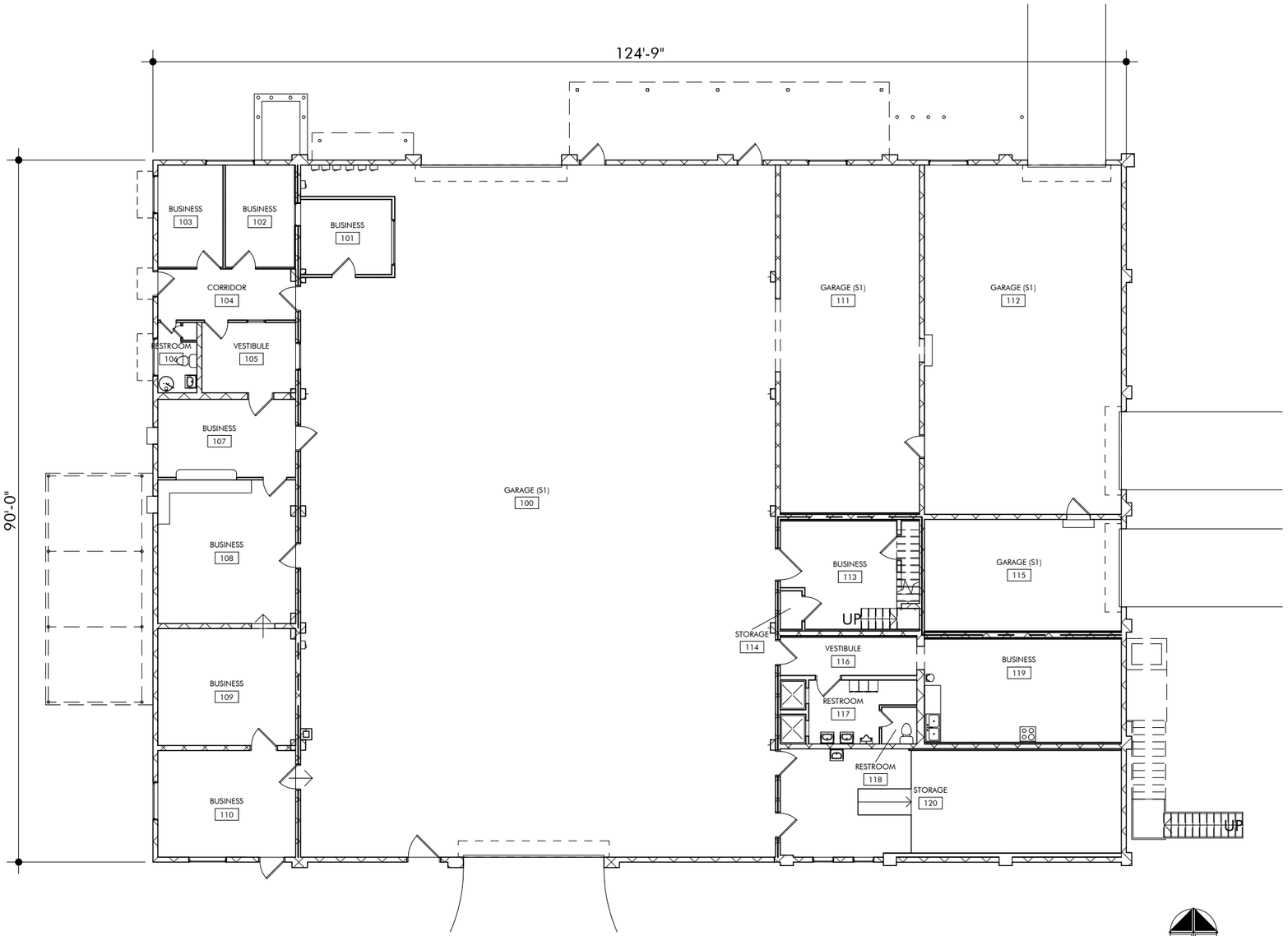
MINIMUM PLUMBING FACILITIES:

WATER CLOSETS:	1 PER 100 = 1 REQUIRED
LAVATORIES:	1 PER 100 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 1000 = 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING A - FLEET GARAGE

DRAWN BY:	SDH
WA PROJECT NO.:	14062
SHEET TITLE:	BUILDING CODE SUMMARY
ISSUE DATE:	5/22/2015
SHEET NO.:	LS100



1 GROUND FLOOR PLAN
1/16" = 1'-0"

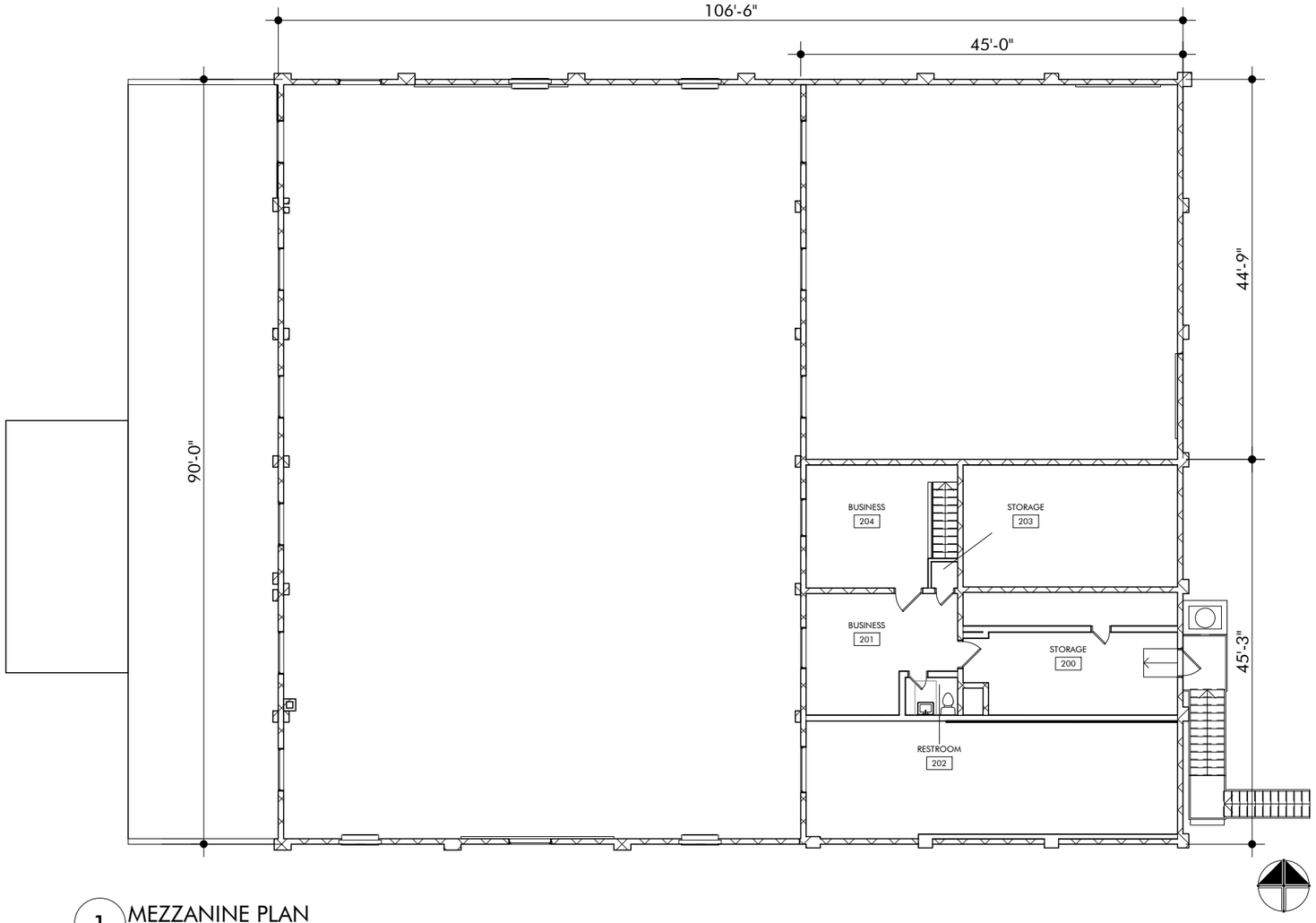
ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	GARAGE (S1)	5,262 SF
101	BUSINESS	111 SF
102	BUSINESS	116 SF
103	BUSINESS	109 SF
104	CORRIDOR	114 SF
105	VESTIBULE	108 SF
106	RESTROOM	40 SF
107	BUSINESS	177 SF
108	BUSINESS	324 SF
109	BUSINESS	264 SF
110	BUSINESS	241 SF
111	GARAGE (S1)	795 SF
112	GARAGE (S1)	1,131 SF
113	BUSINESS	198 SF
114	STORAGE	14 SF
115	GARAGE (S1)	361 SF
116	VESTIBULE	85 SF
117	RESTROOM	89 SF
118	RESTROOM	21 SF
119	BUSINESS	334 SF
120	STORAGE	585 SF
200	STORAGE	232 SF
201	BUSINESS	219 SF
202	RESTROOM	27 SF
203	STORAGE	10 SF
204	BUSINESS	243 SF

TOTAL AREA: 11228 GSF

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING A - FLEET GARAGE

DRAWN BY: OAG
WA PROJECT NO.: 14062
SHEET TITLE: GROUND FLOOR PLAN
ISSUE DATE: 5/22/2015
SHEET NO.: A110



1 MEZZANINE PLAN
1/16" = 1'-0"

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	GARAGE (S1)	5,262 SF
101	BUSINESS	111 SF
102	BUSINESS	116 SF
103	BUSINESS	109 SF
104	CORRIDOR	114 SF
105	VESTIBULE	108 SF
106	RESTROOM	40 SF
107	BUSINESS	177 SF
108	BUSINESS	324 SF
109	BUSINESS	264 SF
110	BUSINESS	241 SF
111	GARAGE (S1)	795 SF
112	GARAGE (S1)	1,131 SF
113	BUSINESS	198 SF
114	STORAGE	14 SF
115	GARAGE (S1)	361 SF
116	VESTIBULE	85 SF
117	RESTROOM	89 SF
118	RESTROOM	21 SF
119	BUSINESS	334 SF
120	STORAGE	585 SF
200	STORAGE	232 SF
201	BUSINESS	219 SF
202	RESTROOM	27 SF
203	STORAGE	10 SF
204	BUSINESS	243 SF

TOTAL AREA: 11228 GSF

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING A - FLEET GARAGE

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: MEZZANINE PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A111

BUILDING B - FLEET BUILDING

Building Location: 405 Southeast 5th Avenue, Gainesville, FL 32601

Building Size: 1,600 GSF

Number of Floors: 1

Property Type: Warehouse/Storage

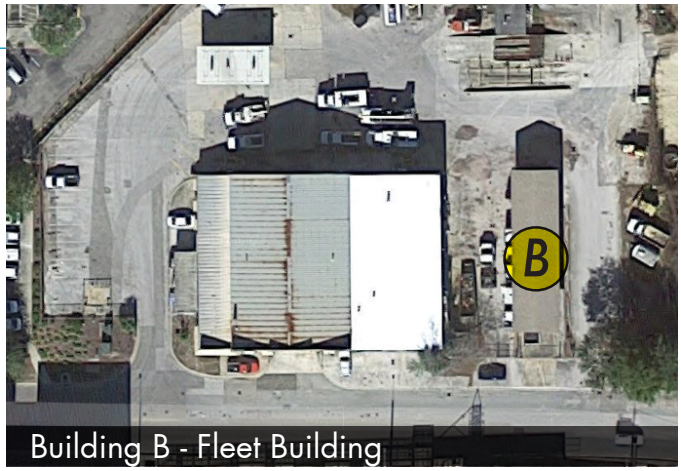
Property Use Type: Vacant Storage

Area Square Footages:

- Ground Floor: 1,600 GSF

Square Footage By Type:

- Utility: 1,468 NSF



Building B - Fleet Building

Initial survey of the entire facility revealed that most building components are in above average condition and may be reused, relocated or sold as deemed appropriate by the Owner.

BUILDING B - FLEET BUILDING: STRUCTURAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings available). All indications are that the foundation system is performing as designed without issue.	
Wall Systems	Exterior Type 1 - CMU. Moderate exterior cracks were observed. Interior Type 1 - Paint on CMU. Observed wall cracking was mostly mortar separation, but daylight is visible through the cracks.	Repair cracks.
Floor System	First Floor - Poured-in-place concrete slab (slab on grade) Vehicle lift is in place, but does not appear to be functional at this time.	Concrete slab may be reused. Remove or repair vehicle lift.
Roof	Existing roof system is asphalt shingles on plywood decking on wood trusses. Shingles appear to be in good condition. Installation date is unknown.	


Broken CMU


Wall Cracking


Slab With Vehicle Lift

BUILDING B - FLEET BUILDING: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	None.	
Exterior Doors	Type 1: Roll-up garage doors. Door hardware and frame systems are all in good working order.	In general, exterior door hardware is in poor condition and full opening replacement is recommended.
	Type 2: Hollow Metal Doors. Surface rust was noted on exterior hollow metal doors.	

BUILDING B - FLEET BUILDING: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	Sealed concrete.	
Ceiling System	No ceiling systems. Exposed to the structure above.	

Roll-Up Door

Exposed Roof Structure

Exterior

BUILDING B - FLEET BUILDING: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are old and obsolete.	Gut and replace all electrical systems.
Emergency Lighting	None exists.	
General Lighting	Old and obsolete T12 fluorescent fixtures.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	None exists.	
Exit Signage	None exists.	
Telecom	None exists.	

BUILDING B - FLEET BUILDING: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
No mechanical HVAC systems exist.		Provide new HVAC systems as required to serve new building use.

BUILDING B - FLEET BUILDING: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
No plumbing systems exist.		Provide new plumbing systems as required to serve new building use.

BUILDING B - FLEET BUILDING: ASBESTOS, LEAD, MOLD, AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	No asbestos was found.	
Lead	Green paint on north roll-up metal door.	 Mitigate all lead.
	White and gray paint on concrete walls throughout interior of building.	
	Gray paint on interior surfaces of east and west metal doors.	
	Tan paint on exterior surfaces of east and west metal doors.	
	Tan paint on concrete walls throughout exterior of building.	
Mold	Mold was found.	 Mitigate all mold.
Termites	No evidence of termites was found.	

Complete environmental technical reports are available as supplemental documents.

BUILDING B - FLEET BUILDING

General Condition Conclusion

The warehouse area is in fair condition and could be used as-is for manufacturing or warehouse uses that do not require significant humidity or temperature control.

See Sheet LS100 in Section 2.4 for conducted building code analysis on existing structure.

Life Safety and Egress Requirements appear to meet all current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

Code Deficiencies (minor)

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are compliant with the current code requirements.

Building B - Fleet Building

Critical Repairs Needed

Building B's structure is sound. There are currently no critical repairs to be made.

Potential Future Reuse

Building B could be repurposed as:

- Art Studio
- Coffee Shop or Cafe
- Office
- Storage

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$26,151
Roof	$25,751
Windows and Doors	$19,151
Interior Finishes	$27,901
MEPF Systems	$40,151

Power District Building B - Fleet Building					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Warehouse)	1,600	SF	$2.25	$3,600.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	1,600	SF	$4.00	$6,400.00	
					$10,000.00
Division 3					
Slab on Grade	10	CuY	$225.00	$2,250.00	
Concrete Floor Patch	0	SF	$3.00	$0.00	
					$2,250.00
Division 4					
CMU repair	150	SF	$30.00	$4,500.00	
					$4,500.00
Division 5					
Misc. Structural Repairs	1	LS	$5,000.00	$5,000.00	
					$5,000.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	1,600	SF	$6.00	$9,600.00	
					$9,600.00
Division 8					
New Exterior Doors	2	ea	$1,500.00	$3,000.00	
					$3,000.00
Division 9					
Painting	1,600	SF	$5.00	$8,000.00	
Repair Existing Floor	250	SF	$15.00	$3,750.00	
					$11,750.00
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$0.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
N/A	0	EA	$0.00	$0.00	
					$0.00
DIVISION 2-14 SUB-TOTAL					**$46,100.00**
MEPF SYSTEMS					
HVAC (Warehouse)	1,600	SF	$5.50	$8,800.00	
Electrical/AV/IT (Warehouse)	1,600	SF	$7.50	$12,000.00	
Plumbing (Warehouse)	1,600	SF	$2.00	$3,200.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$24,000.00**
SUB-TOTAL					**$70,100.00**
Contingency @ 20%					$14,020.00
SUB-TOTAL with Contingency					$84,120.00
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$6,729.60	$6,729.60
Contractor's OH&P @ 18%					**$15,141.60**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**1,600**	**SF**	**$66.00**		**$105,991.20**
				Rounded Value	$106,000.00
Estimated Core & Shell New Construction	**1,600**	**SF**	**$100.00**	$160,000.00	
Estimated demolition of existing structure	**1,600**	**SF**	**$15.00**	$24,000.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$184,000.00**
TOTAL ESTIMATED COST (Typical interior Build Out)	**1,600**	**SF**	**$50.00**	$80,000.00	**$80,000.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**1,600**	**SF**	**(~$165/SF)**		**$264,000.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING B - FLEET BUILDING

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	UTILITY (U)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	2 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	17,500 GSF

GROSS BUILDING AREA

GROUND FLOOR GROSS AREA: 1,600 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

GROUND FLOOR:

NET FLOOR AREA (UTILITY)(U)(1 OCC./300 NSF):	1,468 NSF	(3)
OCCUPANT LOAD :		3 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	UTILITY (U)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION: NONE

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

MINIMUM PLUMBING FACILITIES: NONE REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING B - FLEET BUILDING

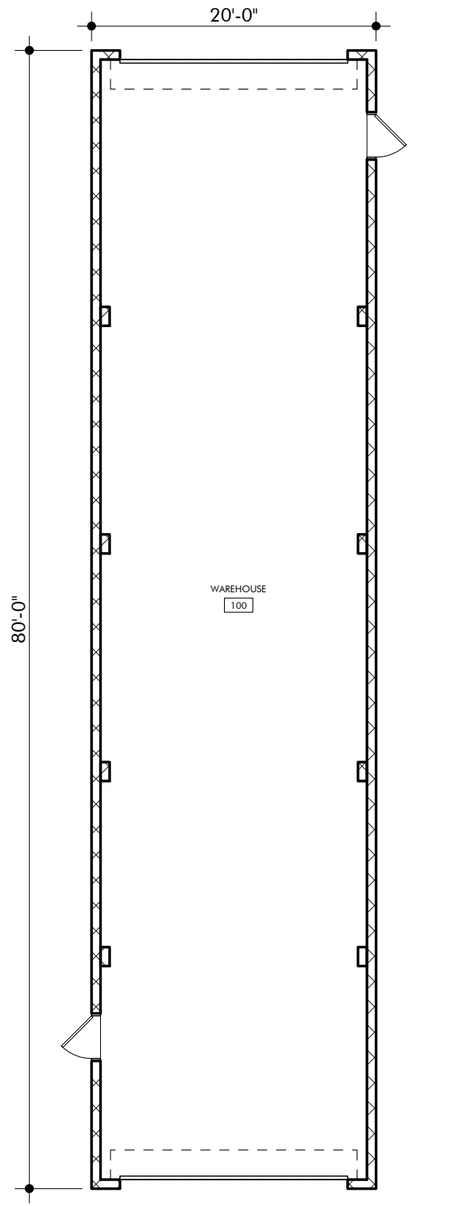
DRAWN BY: SDH

WA PROJECT NO.: 14062

SHEET TITLE: BUILDING CODE SUMMARY

ISSUE DATE: 5/22/2015

SHEET NO.: LS100



1 GROUND FLOOR PLAN
3/32" = 1'-0"

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	WAREHOUSE	1,468 SF

TOTAL AREA: 1600 GSF

WALKER ARCHITECTS

4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468

WWW . WALKER-ARCH . COM
AA26002009

JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING B - FLEET BUILDING

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: GROUND FLOOR PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A111

BUILDING C - WATER WASTE WATER BUILDING

Building Location: 528 Southeast Fifth Avenue Gainesville, FL 32601

Building Size: 5,171 GSF

Number of Floors: 1

Property Type: Office

Property Use Type: Vacant Office Building

Area Square Footages:

- Ground Floor: 5,171 GSF

Square Footage By Type
(Does not include Restrooms, Corridors, or Vestibules):

- Business: 3,735 NSF
- Storage: 189 NSF

Building C - Water Waste Water Building

Initial survey of the entire facility revealed that most building components are in average to poor condition and may be renovated, relocated or sold as deemed appropriate by the Owner. Though some tenants may find the condition of the office space as-is to be acceptable, we would recommend new ceiling systems, MEPF, flooring and paint. The exterior of the building is in fair condition and may be used as is.

BUILDING C - WATER WASTE WATER BUILDING: STRUCTURAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings exist). All indications are that the foundation system is performing as designed without issue.	
Wall Systems	Exterior Type 1 - Brick on CMU. Exterior brick is in excellent condition. No exterior cracks were observed.	
	Exterior Type 2 - Cementitious stucco on CMU. No flaws were noticed on initial survey.	New paint is recommended.
	Exterior Type 3 - Paint on CMU.	
	Interior Type 1 - Paint on CMU.	Interior Walls: Vinyl wall covering should be removed on any GWB wall at exterior locations to prevent possibility of mold infiltration.
	Interior Type 2 - Paint or vinyl wall covering on gypsum wall board. Finishes are in fair condition. No deficiencies were noted on initial walk-through.	
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	
Roof	System 1: Built up roof system on metal deck on steel roof trusses.	Repair roof leaks.
	Some water damage was observed on the exterior soffit which indicates a roof leak may be present. No other evidence of roof leaking was observed.	

Exterior Brick

Possible Roof Leak

Damage Indicating Possible Roof Leak

BUILDING C - WATER WASTE WATER BUILDING: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	All exterior storefront glazing and sealant systems are in fair condition. No leaks or potential leaks were noted on initial walk-through.	
Exterior Doors	Type 1: Storefront Doors. Door hardware, glazing and frame systems are all in working order.	Rekeying, new seals and closing hardware are recommended.
	Type 2: Hollow Metal Doors. Minor surface rust was noted on exterior hollow metal doors.	Mitigate rust by applying rust-inhibiting primer and new paint.

BUILDING C - WATER WASTE WATER BUILDING: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	System 1: Carpet. Glued down sheet carpet is in fair condition. (Offices, corridors)	Replace all finishes.
	System 2: Ceramic Tile. Varied sizes and colors and in fair condition. (Toilet rooms and lobby areas)	
Ceiling System	Type 1: Office spaces have standard sound absorbent 2x2 or 2x4 acoustic ceiling tile. There has been some exposure to moisture which is evidenced by the sagging tiles.	

Office With Worn And Dirty Carpet

Lobby With Tile Flooring

Storefront

BUILDING C - WATER WASTE WATER BUILDING: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are in fair condition.	Retain main electrical panels.
Emergency Lighting	Provided, but many are non-functional.	Remove and replace all other electrical systems.
General Lighting	Old and obsolete T12 fluorescent fixtures.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete.	

BUILDING C - WATER WASTE WATER BUILDING: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Cooling	Air conditioning is provided by two packaged rooftop AC systems. One system is a Weatherking brand and is beyond its serviceable life. The other system is a York brand and appears to be in serviceable condition. The unit could not be started during our visit. It is unlikely that the capacity of the unit is sufficient to provide ventilation as required by current codes and standards. The ductwork for both units is internally insulated galvanized steel.	Demolish existing ductwork. Install new insulated galvanized steel ductwork. Replace exhaust fans and ductwork serving toilet rooms.
Heating	Heating provided as part of each cooling system.	Demolish and replace existing rooftop units with new heat pumps and controls.
Ventilation	Ventilation is currently provided by rooftop unit intakes.	
Exhaust	Two exhaust fans currently exhaust the two gang toilet rooms at the rear of the building. Each exhaust fan appears to be beyond its serviceable life.	Replace exhaust fans.
Controls	Controls were not operable at the time of our visit.	Repair or replace controls.

BUILDING C - WATER WASTE WATER BUILDING: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Toilet Rooms	There are two existing toilet rooms in the building. The fixtures in the toilet rooms are old and obsolete.	Demolish existing plumbing fixtures and piping in toilet rooms back to utility connections. Install new fixtures to meet current code requirements.
Piping	Existing water and waste piping is concealed, except in break room where CPVC water piping is exposed to serve the sink.	Partial demolition is required to evaluate this piping.
Hot Water Systems	Hot water is provided by a water heater below the counter in the women's restroom. The water heater is leaking and the case is rusted.	Demolish existing water heating system. Reinstall water heaters as necessary for new layout.
Other	There is a sink and a water cooler in the break room. Both fixtures are old.	Demolish existing water cooler and sink. Install new water cooler and sink to serve new tenant layout.

Toilet Room With Under-Counter Water Heater

Lobby With Tile Flooring

Break Room Sink

BUILDING C - WATER WASTE WATER BUILDING: ASBESTOS, LEAD, MOLD,

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	Tan-flaked floor tile with yellow glue in men's and women's bathrooms.	 Mitigate all asbestos.
	Green VCT (bottom layer) in the men's room, Restroom 109.	
	Black mastic, metal tape, and black condensation barrier under sink in kitchenette area, Business 113.	
	VCT of indeterminate color at front doorway entrance, foyer of Business 101.	
	Tan surfacing on the exterior of the building.	
	Yellow insulation with black batt, carpet glue, ceiling board, wallboard, flexible metal duct work, joint compound, and grey/white/green terrazzo flooring throughout the building.	
	Black tar paper on exterior roof.	
Lead	Exterior door frame opening from Business 114.	 Mitigate all lead.
	Ceramic floors in Vestibule 107, foyer of Business 101, and Restroom 109.	
Mold	Mold was found.	 Mitigate all mold.
Termites	No evidence of termites was found.	

Complete environmental technical reports are available as supplemental documents.

BUILDING C - WATER WASTE WATER BUILDING

General Condition Conclusion

The overall office area is in poor condition and should be completely renovated if it were to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes.

See Sheet LS100 in Section 3.4 for conducted building code analysis on existing structure.

Toilet rooms do not appear to meet all current FBC 2010 requirements.

Life Safety and Egress Requirements appear to meet all current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are compliant with the current code requirements.

Building C - Water Waste Water Building

Critical Repairs Needed

In order to prevent further decline, immediately repair all roof leaks.

Potential Future Reuse

Building C could be repurposed as:

- Office
- Retail Space

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$158,519
Roof	$158,519
Windows and Doors	$121,960
Interior Finishes	$114,773
MEPF Systems	$246,712

Power District Building C - Water Waste Water Building					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business)	5,171	SF	$10.00	$51,710.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	5,171	SF	$4.00	$20,684.00	
					$72,394.00
Division 3					
Slab on Grade	0	CuY	$225.00	$0.00	
Concrete Floor Patch	150	SF	$3.00	$450.00	
					$450.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$3,500.00	$3,500.00	
					$3,500.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	5,171	SF	$14.00	$72,394.00	
					$72,394.00
Division 8					
Exterior soffit repairs	795	SF	$5.00	$3,975.00	
Repair Existing Windows	288	ea	$20.00	$5,760.00	
New Exterior Doors	3	ea	$1,500.00	$4,500.00	
New Interior Doors	18	ea	$1,200.00	$21,600.00	
					$35,835.00
Division 9					
Painted Plaster Walls & Patching	5,171	SF	$3.50	$18,098.50	
New Painted GWB Walls	0	SF	$15.50	$0.00	
Repair Existing Floor	100	SF	$15.00	$1,500.00	
Misc. interior ceiling repair	5,171	SF	$1.75	$9,049.25	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	0	SF	$10.00	$0.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$28,647.75
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
N/A	0	EA	$0.00	$0.00	
					$0.00
DIVISION 2-14 SUB-TOTAL					**$213,220.75**
MEPF SYSTEMS					
HVAC (Business)	5,171	SF	$17.50	$90,492.50	
Electrical/AV/IT (Business)	5,171	SF	$12.25	$63,344.75	
Plumbing (Business, fixture replacement only))	9	ea	$750.00	$6,750.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$160,587.25**
SUB-TOTAL					**$373,808.00**
Contingency @ 20%					$74,761.60
SUB-TOTAL with Contingency					$448,569.60
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$35,885.57	$35,885.57
Contractor's OH&P @ 18%					**$80,742.53**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**5,171**	**SF**	**$109.00**		**$565,197.70**
				Rounded Value	$566,000.00
Estimated Core & Shell New Construction	**5,171**	**SF**	**$175.00**	$904,925.00	
Estimated demolition of existing structure	**5,171**	**SF**	**$15.00**	$77,565.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$982,490.00**
TOTAL ESTIMATED COST (Typical interior Build Out)	**5,171**	**SF**	**$50.00**	$258,550.00	**$258,550.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**5,171**	**SF**	**(~$165/SF)**		**$1,241,040.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING C - WATER WASTE WATER BUILDING

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	BUSINESS (B)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	3 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	19,000 GSF

GROSS BUILDING AREA

GROUND FLOOR GROSS AREA: 5,171 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

GROUND FLOOR:

NET FLOOR AREA (B)(1 OCC./100 GSF):	3,870 NSF	(39)
NET FLOOR AREA (STORAGE/MECH.)(S1/M)(1 OCC./300 NSF):	191 NSF	(1)
OCCUPANT LOAD :		40 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	BUSINESS (B)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	1 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

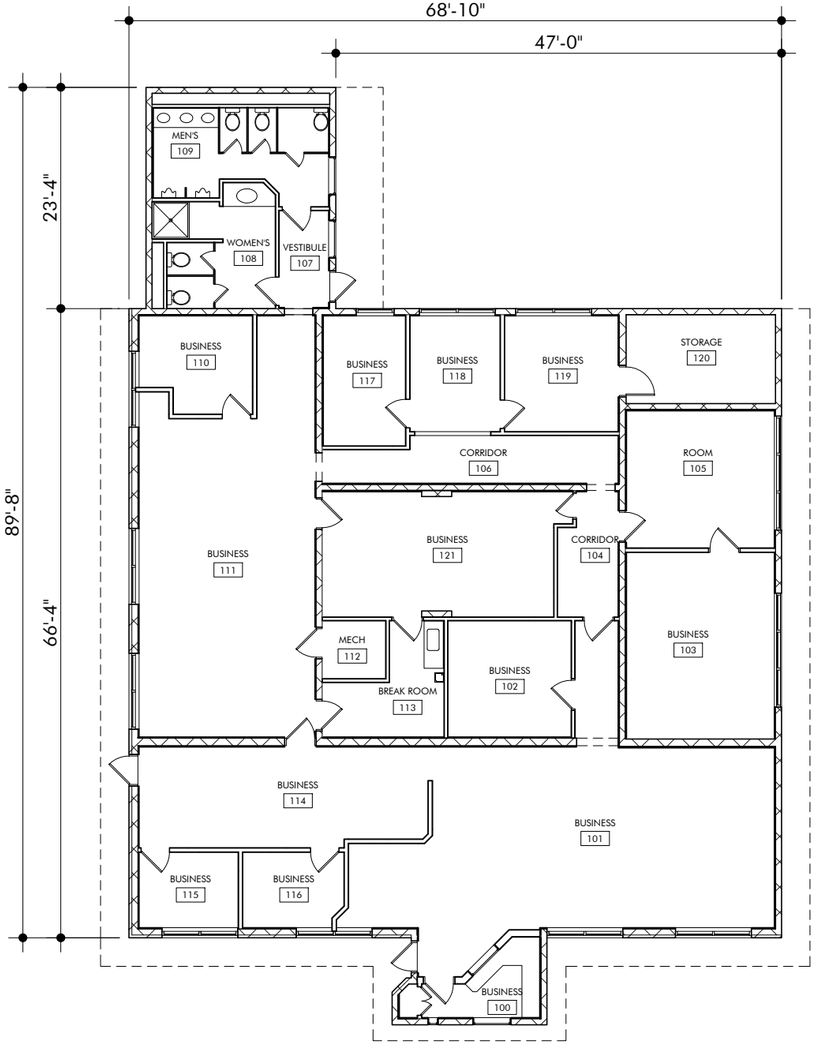
MINIMUM PLUMBING FACILITIES:

WATER CLOSETS:	1 PER 25 = 2 REQUIRED
LAVATORIES:	1 PER 40 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 100 = 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING C - WATER WASTE WATER BUILDING

DRAWN BY:	SDH
WA PROJECT NO.:	14062
SHEET TITLE:	BUILDING CODE SUMMARY
ISSUE DATE:	5/22/2015
SHEET NO.:	LS100



1 GROUND FLOOR PLAN
1/16" = 1'-0"

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	BUSINESS	71 SF
101	BUSINESS	866 SF
102	BUSINESS	159 SF
103	BUSINESS	305 SF
104	CORRIDOR	77 SF
105	ROOM	225 SF
106	CORRIDOR	143 SF
107	VESTIBULE	53 SF
108	WOMEN'S	140 SF
109	MEN'S	167 SF
110	BUSINESS	114 SF
111	BUSINESS	697 SF
112	MECH	40 SF
113	BREAK ROOM	110 SF
114	BUSINESS	315 SF
115	BUSINESS	83 SF
116	BUSINESS	83 SF
117	BUSINESS	119 SF
118	BUSINESS	119 SF
119	BUSINESS	146 SF
120	STORAGE	148 SF
121	BUSINESS	324 SF

TOTAL AREA: 5171 GSF

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING C - WATER WASTE WATER BUILDING

DRAWN BY: OAG
WA PROJECT NO.: 14062
SHEET TITLE: GROUND FLOOR PLAN
ISSUE DATE: 5/22/2015
SHEET NO.: A110

BUILDING D - FIELD SERVICES BUILDING

Building Location: 532 Southeast 5th Avenue, Gainesville, FL 32601

Building Size: 3,129 GSF

Number of Floors: 1

Property Type: Office

Property Use Type: Vacant Office Building

Area Square Footages:

- Ground Floor: 3,129 GSF

Square Footage By Type
(Does not include Restrooms, Corridors, or Vestibules):

- Business: 1,774 NSF
- Storage: 214 NSF

Building D - Field Services Building

Initial survey of the entire facility revealed that most building components are in poor to very poor condition and may be demolished or sold as deemed appropriate by the Owner. The current toilet facilities are not accessible. Any significant renovation work beyond finish replacement would require a full ADA upgrade design.

BUILDING D - FIELD SERVICES BUILDING: STRUCTURAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings exist). All indications are that the foundation system is performing as designed without issue.	
Wall Systems	Exterior Type 1 - Cementitious stucco on CMU. No flaws were noticed on initial survey.	New paint is recommended
	Exterior Type 2 - Paint on CMU.	
	Exterior Type 3 - Paint on wood siding.	Replacement is recommended.
	Interior Type 1 - Paint on CMU.	New paint is recommended
	Interior Type 2 - Paint or vinyl wall covering on gypsum wall board. Finishes are in hazardous condition.	Vinyl wall covering and existing GWB should be removed and replaced to prevent possibility of additional mold infiltration.
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	
Roof	System 1: Built up roof system on tectum deck on steel roof joists.	
	Some water damage was observed on the exterior soffit which indicates a roof leak may be present. No other evidence of roof leaking was observed.	Repair water damage and roof leaks.
	System 2: Modified bitumen roof on metal deck.	

Tectum Roof Deck

Water Damage

Mold Beneath Wall Coverings

BUILDING D - FIELD SERVICES BUILDING: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	All exterior storefront glazing and sealant systems are in fair condition. No leaks or potential leaks were noted on initial walk-through.	
Exterior Doors	Type 1: Storefront Doors. Door hardware, glazing and frame systems are all in working order.	Rekeying, new seals and closing hardware are recommended.
	Type 2: Hollow Metal Doors. Minor surface rust was noted on exterior hollow metal doors.	Mitigate rust by applying rust-inhibiting primer and new paint.

BUILDING D - FIELD SERVICES BUILDING: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	System 1: Carpet. Glued down sheet carpet is in fair condition. (Offices, corridors)	Replace all finishes.
	System 2: Ceramic Tile. Varied sizes and colors and in fair condition. (Toilet rooms)	
	System 3: VCT. 12x12 In fair condition (Lobby areas)	
Ceiling System	Type 1: Office spaces have standard sound absorbent 2x2 or 2x4 acoustic ceiling tile. There has been some exposure to moisture which is evidenced by the sagging tiles.	

Exterior Window

Office With Sagging Ceiling Tile

Lobby

BUILDING D - FIELD SERVICES BUILDING: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are in fair condition.	✓ Retain main electrical panels.
Emergency Lighting	None exists.	✗ Remove and replace all other electrical systems.
General Lighting	T8 fluorescent fixtures in fair condition.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete; poorly installed and routed.	

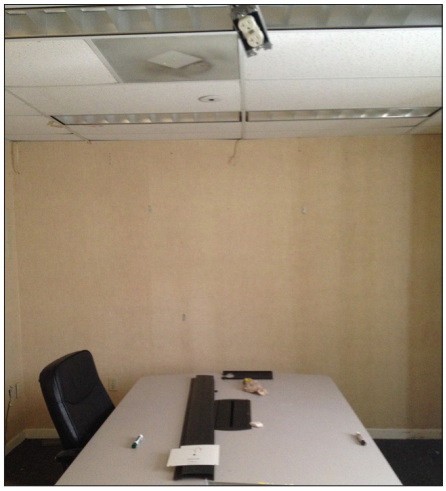
BUILDING D - FIELD SERVICES BUILDING: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Cooling	Air conditioning is provided by a packaged rooftop AC system and a split-system AC unit. Each system is beyond its serviceable life. The ductwork for the rooftop unit is externally insulated galvanized steel. The ductwork for the split-system is comprised of ductboard and flexible ducts. The building has mold issues, and thus the ductwork is likely to also have mold on its interior.	✗ Demolish and replace existing HVAC units with new heat pumps and controls.
Heating	Heating provided as part of each cooling system.	
Ventilation	Ventilation is currently provided by rooftop unit intakes.	✗ Demolish existing ductwork. Install new insulated galvanized steel ductwork.
Exhaust	Three exhaust fans are used to exhaust the toilet rooms in the building through wall caps.	✗ Replace exhaust fans and ductwork serving toilet rooms.
Controls	Controls were not operable at the time of our visit.	

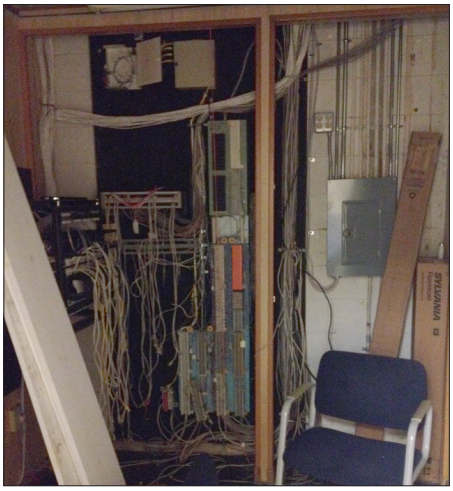
BUILDING D - FIELD SERVICES BUILDING: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Toilet Rooms	There are three existing toilet rooms in the building. The fixtures in the toilet rooms are old and obsolete. The toilet rooms smell heavily of mold.	Demolish existing plumbing fixtures and piping in toilet rooms back to utility connections. Install new fixtures to meet current code requirements.
Piping	Existing water and waste piping is concealed except where stubbed in at offices along the east exterior wall.	Demolish plumbing stub-outs in existing offices.
Hot Water Systems	No hot water system was located during the survey.	
Other	There is a sink just outside of the restrooms in the main corridor. The sink is in poor condition.	Demolish existing sink. Install new sink to serve new tenant layout.

Toilet Room With Exterior Sink



Electrical Components Hanging From Ceiling



Electrical Panel

BUILDING D - FIELD SERVICES BUILDING: ASBESTOS, LEAD, MOLD, AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	Grey floor grout and baseboard with tan glue in main break room.	 Mitigate all asbestos.
	Grey and white interior window caulk.	
	Pink joint compound on the fire wall, ceiling board, wallboard, fire doors, flexible metal duct work and joint compound throughout the building.	
	Black tar paper on exterior roof.	
Lead	Exterior door frame opening from Vestibule 102.	 Mitigate all lead.
Mold	Mold was found.	 Mitigate all mold.
Termites	Evidence of termites was found.	 Treat for termites.

Complete environmental technical reports are available as supplemental documents.

BUILDING D - FIELD SERVICES BUILDING

General Condition Conclusion

The overall office area is in poor condition and should be completely renovated if it were to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes.

See Sheet LS100 in Section 4.4 for conducted building code analysis on existing structure.

Toilet rooms do not appear to meet all current FBC 2010 requirements.

Life Safety and Egress Requirements appear to meet all current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are compliant with the current code requirements.

Building D - Field Services Building

Critical Repairs Needed

In order to prevent further decline, immediately mitigate mold and repair the roof.

Potential Future Reuse

Building D could be repurposed as:

- Art Studio
- Cafe
- Office
- Retail Space

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$104,714
Roof	$114,308
Windows and Doors	$90,008
Interior Finishes	$76,235
MEPF Systems	$155,896

Power District Building D - Field Services Building					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business)	3,129	SF	$10.00	$31,290.00	
Termite Mitigation	1	LS	$2,600.00	$2,600.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	3,129	SF	$4.00	$12,516.00	
					$46,406.00
Division 3					
Slab on Grade	0	CuY	$225.00	$0.00	
Concrete Floor Patch	150	SF	$3.00	$450.00	
					$450.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$3,000.00	$3,000.00	
					$3,000.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	4,000	SF	$14.00	$56,000.00	
					$56,000.00
Division 8					
Exterior soffit repairs	500	SF	$5.00	$2,500.00	
Repair Existing Windows	200	ea	$20.00	$4,000.00	
New Exterior Doors	4	ea	$1,500.00	$6,000.00	
New Interior Doors	16	ea	$1,200.00	$19,200.00	
					$31,700.00
Division 9					
Painted Plaster Walls & Patching	3,129	SF	$3.50	$10,951.50	
New Painted GWB Walls	0	SF	$15.50	$0.00	
Repair Existing Floor	100	SF	$15.00	$1,500.00	
Misc. interior ceiling repair	3,129	SF	$1.75	$5,475.75	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	0	SF	$10.00	$0.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$17,927.25
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
N/A	0	EA	$0.00	$0.00	
					$0.00
DIVISION 2-14 SUB-TOTAL					**$155,483.25**
MEPF SYSTEMS					
HVAC (Business)	3,129	SF	$17.50	$54,757.50	
Electrical/AV/IT (Business)	3,129	SF	$12.25	$38,330.25	
Plumbing (Business, fixture replacement only))	6	ea	$750.00	$4,500.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$97,587.75**
SUB-TOTAL					**$253,071.00**
Contingency @ 20%					$50,614.20
SUB-TOTAL with Contingency					$303,685.20
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$24,294.82	$24,294.82
Contractor's OH&P @ 18%					**$54,663.34**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**3,129**	**SF**	**$122.00**		**$382,643.35**
				Rounded Value	$383,000.00
Estimated Core & Shell New Construction	**3,129**	**SF**	**$175.00**	$547,575.00	
Estimated demolition of existing structure	**3,129**	**SF**	**$15.00**	$46,935.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$594,510.00**
TOTAL ESTIMATED COST (Typical interior Build Out)	**3,129**	**SF**	**$50.00**	$156,450.00	**$156,450.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**3,129**	**SF**	**(~$165/SF)**		**$750,960.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING D - FIELD SERVICES BUILDING

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	BUSINESS (B)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	3 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	19,000 GSF

GROSS BUILDING AREA

GROUND FLOOR GROSS AREA: 3,129 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

GROUND FLOOR:

NET FLOOR AREA (B)(1 OCC./100 GSF):	1,818 NSF	(19)
NET FLOOR AREA (STORAGE/MECH.)(S1/M)(1 OCC./300 NSF):	215 NSF	(1)
OCCUPANT LOAD:		20 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	BUSINESS (B)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	1 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

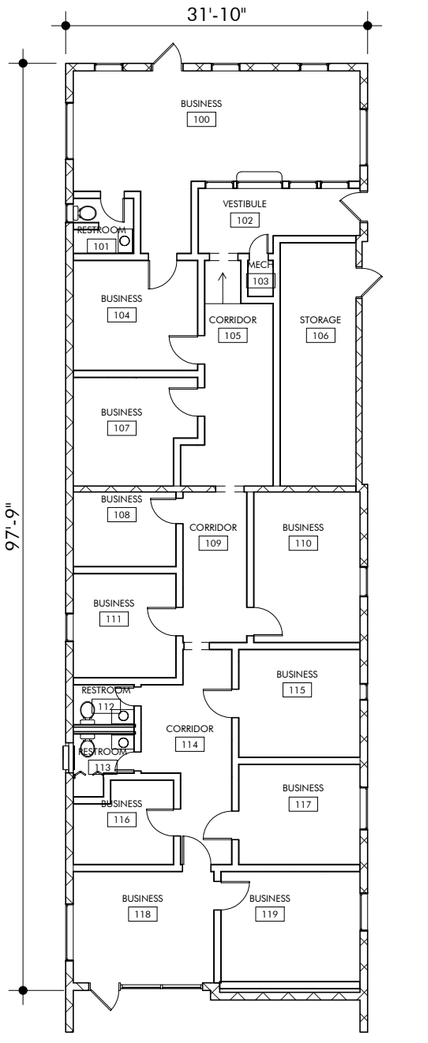
MINIMUM PLUMBING FACILITIES:

WATER CLOSETS:	1 PER 25 = 1 REQUIRED
LAVATORIES:	1 PER 40 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 100 = 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING D - FIELD SERVICES BUILDING

DRAWN BY:	SDH
WA PROJECT NO.:	14062
SHEET TITLE:	BUILDING CODE SUMMARY
ISSUE DATE:	5/22/2015
SHEET NO.:	LS100



1 GROUND FLOOR
1/16" = 1'-0"

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	BUSINESS	399 SF
101	RESTROOM	35 SF
102	VESTIBULE	99 SF
103	MECH	10 SF
104	BUSINESS	152 SF
105	CORRIDOR	166 SF
106	STORAGE	204 SF
107	BUSINESS	137 SF
108	BUSINESS	85 SF
109	CORRIDOR	106 SF
110	BUSINESS	177 SF
111	BUSINESS	118 SF
112	RESTROOM	27 SF
113	RESTROOM	27 SF
114	CORRIDOR	159 SF
115	BUSINESS	145 SF
116	BUSINESS	84 SF
117	BUSINESS	134 SF
118	BUSINESS	174 SF
119	BUSINESS	169 SF

TOTAL AREA: 3129 GSF

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING D - FIELD SERVICES BUILDING

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: GROUND FLOOR PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A110

BUILDING E - WATER WASTE WATER READY ROOM

Building Location: 532 Southeast Fifth Avenue Gainesville, FL 32601

Building Size: 5,633 GSF

Number of Floors: 1

Property Type: Office / Warehouse

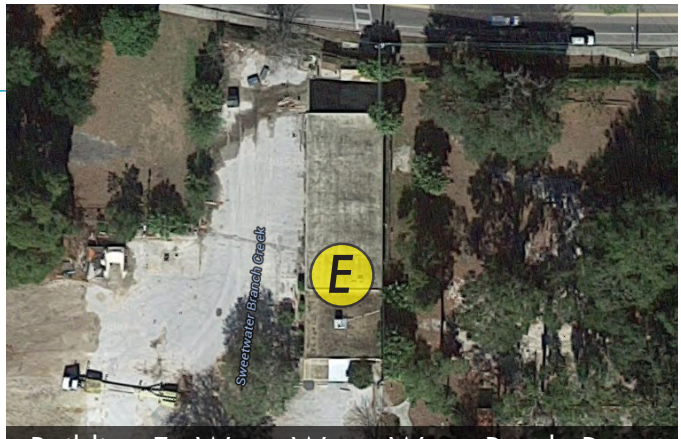
Property Use Type: Vacant

Area Square Footages:

- Ground Floor: 5,633 GSF

Square Footage By Type
(Does not include Restrooms, Corridors, Vestibules, or Locker Room):

- Business: 1,576 NSF
- Storage: 2,745 NSF



Building E - Water Waste Water Ready Room

Initial survey of the entire facility revealed that most building components are in fair condition and may be reused, relocated or sold as deemed appropriate by the Owner. Structurally, the building is in fair condition. Accessible toilet rooms have been retrofitted into the facility and do meet current requirements. Most interior finishes are damaged and are in need of replacement.

BUILDING E - WATER WASTE WATER READY ROOM: STRUCTURAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings exist). All indications are that the foundation system is performing as designed without issue.	
Wall Systems	Exterior Type 1 - Paint on CMU	New paint is recommended.
	Interior Type 1 - Paint on CMU.	
	Interior Type 2 - Paint or ceramic tile wall covering on gypsum wall board. Finishes are in moderate/ poor condition. Water damage in bathroom areas is apparent.	Removal and reconstruction of selected interior partitions is recommended.
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	
Roof System	System 1: Built up roof system on metal deck on steel roof trusses.	

Exterior CMU

Water Damage At Sinks

Water Damaged Locker Room Floor

BUILDING E - WATER WASTE WATER READY ROOM: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	All exterior storefront glazing and sealant systems are in fair condition. No leaks or potential leaks were noted on initial walk-through.	
Exterior Doors	Type 1: Storefront Doors. Door hardware, glazing and frame systems are all in working order.	Rekeying, new seals and closing hardware are recommended.
	Type 2: Hollow Metal Doors. Minor surface rust was noted on exterior hollow metal doors.	Mitigate rust by applying rust-inhibiting primer and new paint.
	Type 3: Roll up doors. Appear to be in working order.	

BUILDING E - WATER WASTE WATER READY ROOM: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	System 1: Sealed concrete (Warehouse area). Fair condition.	
	System 2: Ceramic Tile. Varied sizes and colors and in fair condition. (Toilet rooms and lobby and office areas). Many areas are heaving and cracked.	Replacement is recommended.
Ceiling System	Type 1: Office spaces have standard sound absorbent 2x2 or 2x4 acoustic ceiling tile. There has been some exposure to moisture which is evidenced by the sagging tiles.	Replacement is recommended.

Warehouse

Office With Sagging Ceiling Tile

Office

BUILDING E - WATER WASTE WATER READY ROOM: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are in fair condition.	Retain main electrical panels.
Emergency Lighting	Inadequate.	Remove and replace all other electrical systems.
General Lighting	Old and obsolete T12 fluorescent fixtures.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete; poorly installed and routed.	

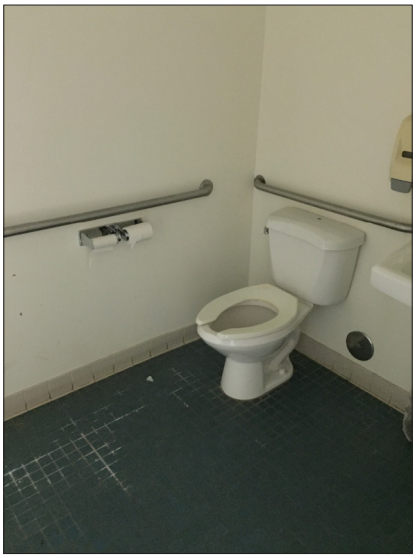
BUILDING E - WATER WASTE WATER READY ROOM: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Cooling	The front office and locker room area of the building is served by a packaged rooftop AC unit. The unit is beyond its serviceable life. The middle rooms of the building are served by a Weatherking split-system heat pump with ductboard ducts. The split system is beyond its serviceable life. One room in the back of the building has a wall-mounted AC unit.	Demolish and replace existing HVAC with new heat pumps and controls.
Heating	Heating provided as part of each cooling system.	Demolish existing ductwork. Install new insulated galvanized steel ductwork.
Ventilation	Ventilation for occupied spaces is provided with an outdoor air intake on each system.	
Exhaust	The locker room exhaust system was not operational at the time of our survey. No exhaust outlet could be located on the building exterior.	Install new exhaust fans and ductwork serving locker rooms.
Controls	Controls were not operable at the time of our visit.	

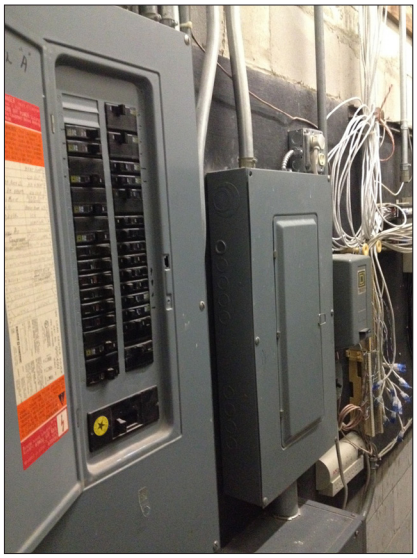
BUILDING E - WATER WASTE WATER READY ROOM: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Locker Rooms	There are two existing locker rooms with toilet facilities. The locker rooms are covered in mold and some of the showers have plants growing from the drains.	Demolish existing plumbing fixtures and piping in locker rooms back to utility connections. Install new fixtures to meet current code requirements
Piping	Existing water and waste piping is concealed and is likely unusable.	
Hot Water Systems	An existing 4,500 watt A.O. Smith water heater was installed in 2008. The casing of the existing water heater is rusted.	Demolish existing water heater. Install new water heater to serve new tenant layout.
Other	There is an existing water cooler in the front room that is in poor condition.	Demolish existing water cooler. Install new water cooler to serve new tenant layout.

Extreme Mold Growth In Locker Room Shower



Toilet Room



Electrical Panel

BUILDING E - WATER WASTE WATER READY ROOM: ASBESTOS, LEAD, MOLD, AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	Brown expansion joint material in Storage 100.	 Mitigate all asbestos.
	Grey duct flashing and off white condensation barrier under sink in the kitchenette area.	
	Grey window caulk and tan surfacing on the exterior of the building.	
	Grey floor tile and grout in the men's and women's bathrooms, Restrooms 106, 107, 108, and 110.	
	White tongue and groove ceiling tile hanging on the entrance hallway.	
	Grey baseboard with yellow glue in the southwest hallway.	
	Yellow insulation with black batt, carpet glue, ceiling board, wallboard, flexible metal duct work, joint compound, and grey/white/green terrazzo flooring throughout the building.	
	Black tar paper on exterior roof.	
Lead	No locations tested exceeded acceptable limits.	
Mold	Mold was found.	 Mitigate all mold.
Termites	No evidence of termites was found.	

Complete environmental technical reports are available as supplemental documents.

BUILDING E - WATER WASTE WATER READY ROOM

General Condition Conclusion

The warehouse area is in fair condition and could be used as-is for manufacturing or warehouse uses that do not require significant humidity or temperature control. The overall office area is in poor condition and should be completely renovated if it were to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes.

See Sheet LS100 in Section 5.4 for conducted building code analysis on existing structure.

Toilet rooms and shower areas do not appear to meet all current FBC 2010 requirements.

Life Safety and Egress Requirements appear to meet all current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are compliant with the current code requirements.

Building E - Water Waste Water Ready Room

Critical Repairs Needed

In order to prevent further decline, immediately cut and cap all plumbing.

Potential Future Reuse

Building E could be repurposed as:

- Art Studio
- Manufacturing Facility
- Office
- Retail Space

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$103,485
Roof	$159,815
Windows and Doors	$101,053
Interior Finishes	$101,460
MEPF Systems	$221,260

Power District Building E - Water Waste Water Ready Room					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business)	3,049	SF	$10.00	$30,490.00	
Selective Demolition (Warehouse)	2,584	SF	$2.25	$5,814.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	5,633	SF	$4.00	$22,532.00	
					$22,532.00
Division 3					
Slab on Grade	50	CuY	$225.00	$11,250.00	
Concrete Floor Patch	0	SF	$3.00	$0.00	
					$11,250.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$5,000.00	$5,000.00	
					$5,000.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	5,633	SF	$14.00	$78,862.00	
					$78,862.00
Division 8					
Repair/Replace Existing Windows	6	ea	$550.00	$3,300.00	
New Exterior Doors	4	ea	$1,500.00	$6,000.00	
New Interior Doors	9	ea	$1,200.00	$10,800.00	
					$20,100.00
Division 9					
Painted Plaster Walls & Patching	3,049	SF	$3.50	$10,671.50	
Misc. Interior Ceiling Repair	3,049	SF	$1.75	$5,335.75	
Repair Existing Floor	300	SF	$15.00	$4,500.00	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	0	SF	$10.00	$0.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$20,507.25
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	12	EA	$650.00	$7,800.00	
					$7,800.00
Division 13					
Not Used					
Division 14					
New HC Lift	1	EA	$45,000.00	$45,000.00	
					$45,000.00
DIVISION 2-14 SUB-TOTAL					**$211,051.25**
MEPF SYSTEMS					
HVAC (Business)	3,049	SF	$17.50	$53,357.50	
HVAC (Warehouse)	2,584	SF	$5.50	$14,212.00	
Electrical/AV/IT (Business)	3,049	SF	$12.25	$37,350.25	
Electrical/AV/IT (Warehouse)	2,584	SF	$7.50	$19,380.00	
Plumbing (Business)	3,049	SF	$5.25	$16,007.25	
Plumbing (Warehouse)	2,584	SF	$0.00	$0.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$140,307.00**
SUB-TOTAL					**$351,358.25**
Contingency @ 20%					$70,271.65
SUB-TOTAL with Contingency					$421,629.90
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$33,730.39	$33,730.39
Contractor's OH&P @ 18%					**$75,893.38**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**5,633**	**SF**	**$94.00**		**$531,253.67**
				Rounded Value	$532,000.00
Estimated Core & Shell New Construction	**5,633**	**SF**	**$175.00**	$985,775.00	
Estimated demolition of existing structure	**5,633**		**$15.00**	$84,495.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$1,070,270.00**
Estimated Business space build out	**3,049**	**SF**	**$100.00**	$304,900.00	
Estimated Warehouse space build out	**2,584**	**SF**	**$50.00**	$129,200.00	
TOTAL ESTIMATED COST (Typical interior Build Out)					**$434,100.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**5,633**	**SF**	**(~$250/SF)**		**$1,504,370.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING E - WATER WASTE WATER READY ROOM

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	MIXED USE: BUSINESS (B)/STORAGE (S1)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	3 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	19,000 GSF

GROSS BUILDING AREA

FIRST FLOOR GROSS AREA:	5,633 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

FIRST FLOOR:

NET FLOOR AREA (B)(1 OCC./100 NSF):	1,579 NSF	(16)
NET FLOOR AREA (S1/M)(1 OCC./300 GSF):	2,744 NSF	(9)
OCCUPANT LOAD :		25 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	BUSINESS (B)/STORAGE (S1)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	0 HOUR RATED
S-1 & B	0 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

MINIMUM PLUMBING FACILITIES (B):

WATER CLOSETS:	1 PER 25 = 1 REQUIRED
LAVATORIES:	1 PER 40 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 100 = 1 REQUIRED
SERVICE SINK:	0 REQUIRED

MINIMUM PLUMBING FACILITIES (S1):

WATER CLOSETS:	1 PER 100 = 1 REQUIRED
LAVATORIES:	1 PER 100 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 1000 = 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING E - WATER WASTE WATER READY ROOM

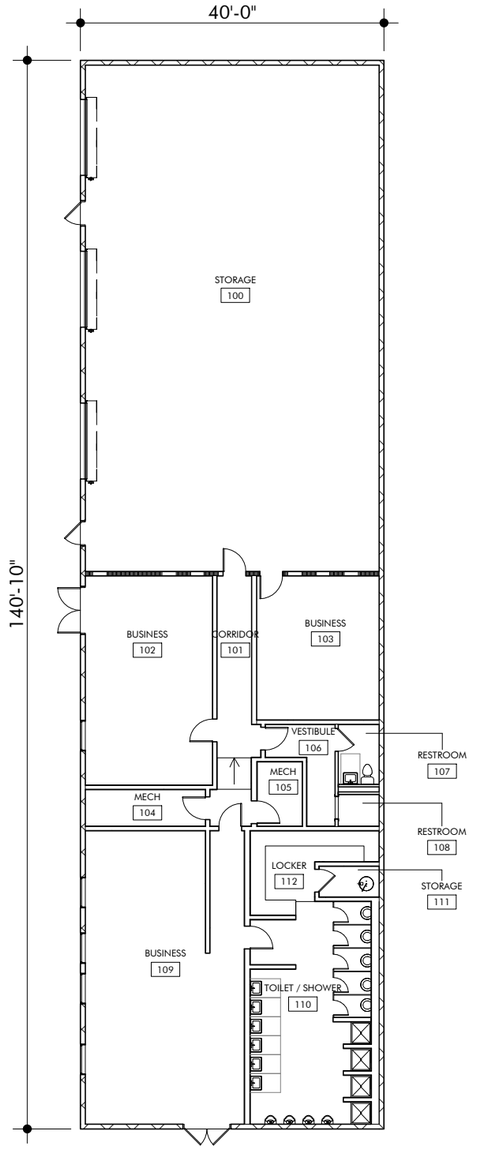
DRAWN BY: SDH

WA PROJECT NO.: 14062

SHEET TITLE: BUILDING CODE SUMMARY

ISSUE DATE: 5/22/2015

SHEET NO.: LS100



1 GROUND FLOOR PLAN
1" = 20'-0"

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	STORAGE	2,584 SF
101	CORRIDOR	160 SF
102	BUSINESS	462 SF
103	BUSINESS	306 SF
104	MECH	76 SF
105	MECH	50 SF
106	VESTIBULE	73 SF
107	RESTROOM	42 SF
108	RESTROOM	22 SF
109	BUSINESS	801 SF
110	TOILET / SHOWER	440 SF
111	STORAGE	32 SF
112	LOCKER	125 SF

TOTAL AREA: 5633 GSF

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING E - WATER WASTE WATER READY ROOM

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: GROUND FLOOR PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A110

BUILDING F - OPERATIONS CENTER & WAREHOUSE

Building Location: 555 Southeast 5th Avenue, Gainesville, FL 32601

Building Size: 36,660 GSF

Number of Floors: 2

Property Type: Office/Warehouse

Property Use Type: Vacant

Area Square Footages:

- First Floor: 30,575 GSF
- Mezzanine Floor: 6,085 GSF

Square Footage By Type
(Does not include Restrooms, Corridors, Vestibules, or Stairs):

- Business: 11,044 NSF
- Storage: 20,546 NSF

Building F - Operations Center & Warehouse

Initial survey of the entire facility revealed that most building components are in fair condition and may be demolished, reused, relocated or sold as deemed appropriate by the Owner. The office wing shows evidence of roof leaks and some damage is evident. Roof replacement is recommended. The interior finishes should be removed and replaced and all exterior walls and wet room locations (toilet rooms and sink areas). The existing terrazzo flooring is intact and could be restored to a high quality finish.

BUILDING F - OPERATIONS CENTER & WAREHOUSE: STRUCTURAL SYSTEMS

SYSTEM	CONDITION		RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings exist). All indications are that the foundation system is performing as designed without issue.	✓	
Wall Systems	Exterior Type 1 - Brick. Exterior brick is in excellent condition. No exterior cracks were observed.	✓	
	Exterior Type 2 - Cementitious stucco on CMU. No flaws were noticed on initial survey.	🔨	New paint is recommended.
	Exterior Type 3 - Paint on CMU		
	Interior Type 1 - Paint on CMU.		
	Interior Type 2 - Paint or vinyl wall covering on gypsum wall board. Finishes are in fair condition. Mold growth was observed in several areas.	✗	Full removal of interior finishes is recommended.
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	✓	
	Type 2: Mezzanine - Wood platform on steel framing.		
Roof	System 1: Built up roof system on metal deck on steel roof trusses.	✓	
	Water damage was observed throughout portions of the interior which indicates a roof leak may be present. No other evidence of roof leaking was observed.	🔨	Repair water damage and roof leaks.
	System 2: Metal roofing on steel purlins. Roof appears to be in fair condition and is appropriate for a warehouse application.	✓	

Warehouse Mezzanine

Water Damage Due To Roof Leak

Water Damage And Mold Growth

BUILDING F - OPERATIONS CENTER & WAREHOUSE: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	All exterior storefront glazing and sealant systems are in fair condition. No leaks or potential leaks were noted on initial walk-through.	
Exterior Doors	Type 1: Storefront Doors. Door hardware, glazing and frame systems are all in working order.	Rekeying, new seals and closing hardware are recommended.
	Type 2: Hollow Metal Doors. Minor surface rust was noted on exterior hollow metal doors.	Mitigate rust by applying rust-inhibiting primer and new paint.
	Type 3: Roll up doors. Doors appear to be functional.	

BUILDING F - OPERATIONS CENTER & WAREHOUSE: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	System 1: Terrazzo. (Offices, corridors). Most of the terrazzo floor system is in salvageable condition.	If terrazzo is to be reused, clean and seal.
	System 2: Ceramic Tile. Varied sizes and colors and in fair condition. (Toilet rooms and lobby areas)	
	System 3: Sealed concrete. Fair condition.	
Ceiling System	Type 1: Office spaces have standard sound absorbent 2x2 or 2x4 acoustic ceiling tile. There has been some exposure to moisture which is evidenced by the sagging tiles.	Remove and replace tiles.

Storefront

Toilet Room With Terrazzo Floor

Sagging Ceiling Tiles

BUILDING F - OPERATIONS CENTER & WAREHOUSE: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are old and obsolete.	Gut and replace all electrical systems.
Emergency Lighting	Inadequate.	
General Lighting	Old and obsolete T12 fluorescent fixtures. Old HID high bays in warehouse.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete; poorly installed and routed.	

BUILDING F - OPERATIONS CENTER & WAREHOUSE: MECHANICAL SYSTEMS

SYSTEM	CONDITION		RECOMMENDATION
Cooling	The building is cooled throughout all office spaces with a total of six split-system heat pumps, three packaged rooftop units, and one packaged terminal AC unit. All units appear to be beyond their serviceable life. The building has a mixture of galvanized steel and ductboard ducts. Due to the high amount of visible mold on the building walls, it is likely that the ductwork contains mold.		Demolish and replace existing cooling and heating units with new heat pumps and controls. If desired, natural gas may be used for heat in each unit.
Heating	Heating in the office areas is provided as part of each cooling system. The warehouse area is heated by natural gas unit heaters. The unit heaters are old and appear to be beyond their serviceable life.		Replace gas unit heaters with new.
Ventilation	There is no apparent ventilation provided to the occupied spaces of the building.		Demolish existing ductwork. Install new insulated galvanized steel ductwork.
Exhaust	Exhaust: The building has five rooftop exhaust fans serving toilet and soiled utility rooms, and two inline exhaust fans with wall caps serving toilet rooms. All seven fans appear to be beyond their serviceable life. Two wall-mounted propeller exhaust fans serve the warehouse area. The warehouse fans appear to be in serviceable condition.		Replace exhaust fans and ductwork serving toilet rooms. Test propeller wall fans and replace belts with new.
Controls	Controls were not operable at the time of our visit.		

BUILDING F - OPERATIONS CENTER & WAREHOUSE: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Toilet Rooms	All toilet rooms contain old plumbing fixtures which are obsolete.	Demolish existing plumbing fixtures and piping in toilet rooms back to utility connections. Install new fixtures to meet current code requirements.
Piping	Existing water and waste piping is concealed.	
Hot Water Systems	A single 4,500 watt, 65 gallon water heater is located in the toilet room near the main north entrance. The water heater casing is rusted and visible piping is corroded.	Demolish existing water heating system. Reinstall water heaters as necessary for new layout. If desired, the water heater may be natural gas fired.
Gas System	Natural gas system serves unit heaters in the warehouse area.	
Other	Two areas of the building have plumbing stubbed out for water coolers. One sink is located in an existing break room and is in poor condition. A double compartment sink is located in the existing soiled utility room and is in poor condition.	Demolish existing water coolers and sinks. Install new water coolers and sinks to serve new tenant layout.

Ductwork Above Ceiling

Dilapidated Toilet Room

Mechanical Closet In Break Room

BUILDING F - OPERATIONS CENTER & WAREHOUSE: MOLD AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Mold	Mold was found.	Mitigate all mold.
Termites	Evidence of termites was found.	Treat for termites.

BUILDING F - OPERATIONS CENTER & WAREHOUSE: ASBESTOS AND LEAD

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	Grey/tan floor tile (12-inch square) with yellow glue and the white condensation barrier under sink in the east wing kitchen area.	Mitigate all asbestos.
	White ceramic floor tile (2-inch square) in the east wing men's and women's bathrooms.	
	Grey striped floor tile with yellow glue in the electric meter room.	
	Red ceramic floor tile with grey grout in the electric meter side room.	
	Light grey striped floor tile with yellow glue in the gas meter room.	
	White pipe insulation with white wrap and pink/tan/gray terrazzo flooring in the main mechanical room.	
	Grey flaked floor tile with white glue in the warehouse office.	
	Black condensation barrier under sink in the west kitchenette area.	
	Grey condensation barrier under sink and tan/white floor tile (12-inch square) with yellow glue in the west wing break room.	
	Black felt paper under the mezzanine in the west wing office area.	
	Yellow insulation with black batt, carpet glue, ceiling board, wallboard, flexible metal duct work, joint compound, basecoat-sheetrock, skim coat-sheetrock, and gray plaster with white skim coat throughout the building.	
Lead	Operations Center Exterior: Metal door lintel opening from Vestibule 117.	Mitigate all lead.
	Warehouse Exterior: Metal door frame opening from Storage 176.	
	Warehouse Exterior: Structural steel at SE corner.	
	Warehouse Exterior: Metal shade cover on East side.	
	Warehouse Interior: Safety stripes on concrete Warehouse floor, Storage 100.	
	Warehouse Interior: Metal door frame leading from Storage 100 to Business 116.	
	Warehouse Interior: Metal stair frame, tread, and hand rail for north stairs to Mezzanine.	
	Warehouse Interior: Metal safety railing in Storage 172 in Mezzanine.	

Complete environmental technical reports are available as supplemental documents.

BUILDING F - OPERATIONS CENTER & WAREHOUSE

General Condition Conclusion

The warehouse area is in fair condition and could be used as-is for manufacturing or warehouse uses that do not require significant humidity or temperature control. The south oriented mezzanine should not be utilized as-is. The office areas should be completely renovated if they are to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes.

See Sheet LS100 in Section 6.4 for conducted building code analysis on existing structure.

• Toilet rooms do not appear to meet current FBC 2010 requirements.

• Life safety and egress requirements do not appear to meet current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are not compliant with the current code requirements.

Building F - Operations Center & Warehouse

Critical Repairs Needed

In order to prevent further decline, immediately replace the roof and cap all plumbing.

Potential Future Reuse

Building F could be repurposed as:

- Art Studio
- Brewery
- Manufacturing Facility
- Office
- Retail Spaces

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$619,878
Roof	$736,461
Windows and Doors	$355,821
Interior Finishes	$341,388
MEPF Systems	$1,128,041

Power District Building F - Operations Center & Warehouse					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business)	17,746	SF	$10.00	$177,460.00	
Selective Demolition (Warehouse - Total of 1st and 2nd Levels)	18,914	SF	$2.25	$42,556.50	
Termite Mitigation	1	LS	$30,000.00	$30,000.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	36,660	SF	$4.00	$146,640.00	
					$396,656.50
Division 3					
Slab on Grade	200	CuY	$225.00	$45,000.00	
Concrete Floor Patch	0	SF	$3.00	$0.00	
					$45,000.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$25,000.00	$25,000.00	
Second Floor Egress Stair Repairs	1	LS	$2,500.00	$2,500.00	
New Handrails/Guard Rails for Stairwells	100	LF	$150.00	$15,000.00	
					$42,500.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	36,660	SF	$14.00	$513,240.00	
					$513,240.00
Division 8					
Repair Existing Clerestory Windows	14	ea	$750.00	$10,500.00	
Repair/Replace Existing Windows	750	sf	$20.00	$15,000.00	
New Exterior Doors	17	ea	$1,500.00	$25,500.00	
New Interior Doors	68	ea	$1,200.00	$81,600.00	
					$132,600.00
Division 9					
Painted Plaster Walls & Patching	17,746	SF	$3.50	$62,111.00	
New Painted GWB Walls	0	SF	$15.50	$0.00	
Repair Existing Terrazzo Floor	5,000	SF	$5.00	$25,000.00	
Misc. Interior Ceiling Repair	17,746	SF	$1.75	$31,055.50	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	0	SF	$10.00	$0.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$118,166.50
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
New HC Lift	0	EA	$45,000.00	$0.00	
					$0.00
DIVISION 2-14 SUB-TOTAL					**$1,248,163.00**
MEPF SYSTEMS					
HVAC (Business)	17,746	SF	$17.50	$310,555.00	
HVAC (Warehouse)	18,914	SF	$5.50	$104,027.00	
Electrical/AV/IT (Business)	17,746	SF	$12.25	$217,388.50	
Electrical/AV/IT (Warehouse)	18,914	SF	$7.50	$141,855.00	
Plumbing (Business)	17,746	SF	$5.25	$93,166.50	
Plumbing (Warehouse)	18,914	SF	$2.00	$37,828.00	
Fire Protection	18,914	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$904,820.00**
SUB-TOTAL					**$2,152,983.00**
Contingency @ 20%					$430,596.60
SUB-TOTAL with Contingency					$2,583,579.60
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$206,686.37	$206,686.37
Contractor's OH&P @ 18%					**$465,044.33**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**36,660**	**SF**	**$89.00**		**$3,255,310.30**
				Rounded Value	$3,256,000.00
Estimated Core & Shell New Construction	**36,660**	**SF**	**$175.00**	$6,415,500.00	
Estimated demolition of existing structure	**36,660**		**$15.00**	$549,900.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$6,965,400.00**
Estimated Business space build out	**17,746**	**SF**	**$100.00**	$1,774,600.00	
Estimated Warehouse space build out	**18,914**	**SF**	**$50.00**	$945,700.00	
TOTAL ESTIMATED COST (Typical interior Build Out)					**$2,720,300.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**36,660**	**SF**	**(~$250/SF)**		**$9,685,700.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING F - OPERATIONS CENTER & WAREHOUSE

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	MIXED USE: BUSINESS (B)/STORAGE (S1)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	3 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	19,000 GSF

GROSS BUILDING AREA

FIRST FLOOR GROSS AREA:	30,575 GSF
MEZZANINE FLOOR GROSS AREA:	6,085 GSF
TOTAL GROSS FLOOR AREA:	36,660 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

FIRST FLOOR:		
NET FLOOR AREA (B)(1 OCC./100 NSF):	11,049 NSF	(111)
NET FLOOR AREA (S1/M)(1 OCC./300 GSF):	14,464 NSF	(49)
OCCUPANT LOAD:		160 OCC.
MEZZANINE FLOOR:		
NET FLOOR AREA (S1/M)(1 OCC./300 GSF):	6,085 NSF	(21)
OCCUPANT LOAD:		21 OCC.
TOTAL NET FLOOR AREA:	31,598 NSF	
TOTAL OCCUPANT LOAD:		181 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	BUSINESS (B)/STORAGE (S1)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	1 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

MINIMUM PLUMBING FACILITIES (B):

WATER CLOSETS:	1 PER 25 = 5 REQUIRED
LAVATORIES:	1 PER 40 = 3 REQUIRED
DRINKING FOUNTAINS:	1 PER 100 = 2 REQUIRED
SERVICE SINK:	0 REQUIRED

MINIMUM PLUMBING FACILITIES (S1):

WATER CLOSETS:	1 PER 100 = 1 REQUIRED
LAVATORIES:	1 PER 100 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 1000 = 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING F - OPERATIONS CENTER & WAREHOUSE

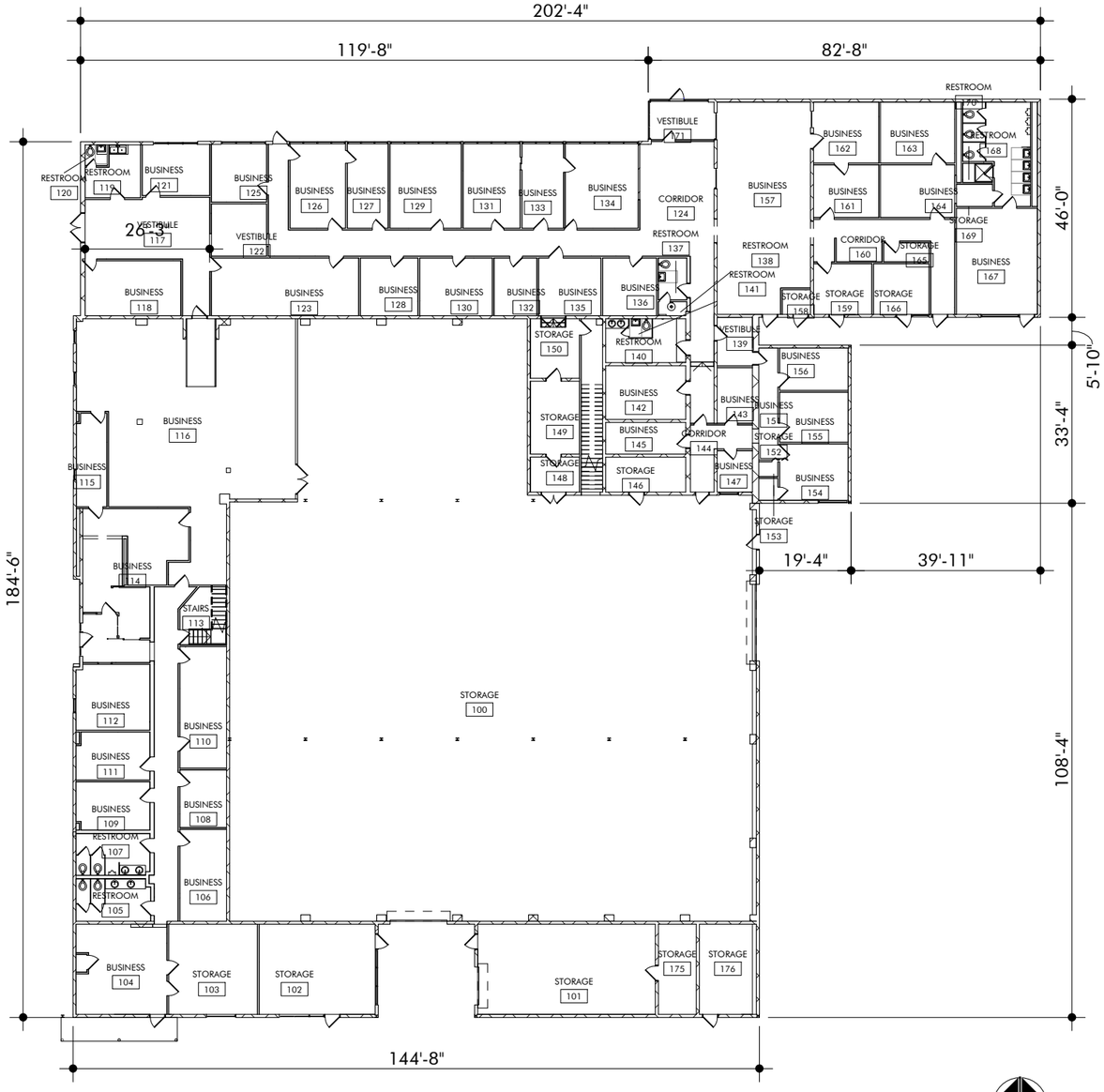
DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: BUILDING CODE SUMMARY

ISSUE DATE: 5/22/2015

SHEET NO.: LS100



1 GROUND FLOOR PLAN
1" = 30'-0"

2 MEZZANINE PLAN
1" = 30'-0"

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING F - OPERATIONS CENTER & WAREHOUSE

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: GROUND FLOOR PLAN AND MEZZANINE PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A110

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	STORAGE	11,706 SF
101	STORAGE	711 SF
102	STORAGE	464 SF
103	STORAGE	355 SF
104	BUSINESS	347 SF
105	RESTROOM	106 SF
106	BUSINESS	190 SF
107	RESTROOM	109 SF
108	BUSINESS	119 SF
109	BUSINESS	156 SF
110	BUSINESS	252 SF
111	BUSINESS	154 SF
112	BUSINESS	214 SF
113	STAIRS	110 SF
114	BUSINESS	237 SF
115	BUSINESS	124 SF
116	BUSINESS	1,799 SF
117	VESTIBULE	403 SF
118	BUSINESS	233 SF
119	RESTROOM	106 SF
120	RESTROOM	20 SF
121	BUSINESS	154 SF
122	VESTIBULE	127 SF
123	BUSINESS	377 SF
124	CORRIDOR	1,057 SF

TOTAL AREA: 30575 GSF

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
125	BUSINESS	143 SF
126	BUSINESS	209 SF
127	BUSINESS	154 SF
128	BUSINESS	147 SF
129	BUSINESS	270 SF
130	BUSINESS	185 SF
131	BUSINESS	216 SF
132	BUSINESS	109 SF
133	BUSINESS	157 SF
134	BUSINESS	276 SF
135	BUSINESS	159 SF
136	BUSINESS	138 SF
137	RESTROOM	52 SF
138	RESTROOM	17 SF
139	VESTIBULE	76 SF
140	RESTROOM	136 SF
141	RESTROOM	19 SF
142	BUSINESS	191 SF
143	BUSINESS	87 SF
144	CORRIDOR	111 SF
145	BUSINESS	113 SF
146	STORAGE	125 SF
147	BUSINESS	65 SF
148	STORAGE	76 SF
149	STORAGE	158 SF

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
150	STORAGE	129 SF
151	BUSINESS	94 SF
152	STORAGE	12 SF
153	STORAGE	18 SF
154	BUSINESS	171 SF
155	BUSINESS	151 SF
156	BUSINESS	128 SF
157	BUSINESS	845 SF
158	STORAGE	31 SF
159	STORAGE	131 SF
160	CORRIDOR	273 SF
161	BUSINESS	152 SF
162	BUSINESS	176 SF
163	BUSINESS	201 SF
164	BUSINESS	173 SF
165	STORAGE	38 SF
166	STORAGE	124 SF
167	BUSINESS	381 SF
168	RESTROOM	189 SF
169	STORAGE	35 SF
170	RESTROOM	25 SF
171	VESTIBULE	112 SF
172	STORAGE	1,703 SF
173	STORAGE	3,785 SF
174	STORAGE	240 SF
175	STORAGE	152 SF
176	STORAGE	228 SF

WALKER ARCHITECTS

4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468

WWW . WALKER-ARCH . COM
AA26002009

JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING F - OPERATIONS CENTER & WAREHOUSE

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: ROOM AREA SCHEDULE

ISSUE DATE: 5/22/2015

SHEET NO.: A400

BUILDING G - CARPENTERS SHOP BUILDING

Building Location: Southeast Depot Avenue Gainesville, FL 32601

Building Size: 3,917 GSF

Number of Floors: 1

Property Type: Warehouse / Repair Shop

Property Use Type: Vacant

Area Square Footages:

- Ground Floor: 3,917 GSF

Square Footage By Type
(Does not include Restrooms):

- Business: 273 NSF
- Storage: 530 NSF
- Repair Shop: 2,754 NSF

Building G - Carpenters Shop Building

Initial survey of the entire facility revealed that most building components are in fair or poor condition. Structural mitigation is needed to stabilize walls. Office areas should be completely renovated if they are to be reused. The office renovation scope of work includes, but is not limited to floor, wall, and ceiling finishes.

BUILDING G - CARPENTERS SHOP BUILDING: STRUCTURAL SYSTEMS

SYSTEM	CONDITION		RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings exist). All indications are that the foundation system is performing as designed without issue.	✓	
Wall Systems	Exterior Type 1 -Paint on CMU. No exterior cracks were observed.	🔨	New paint is recommended.
	Exterior Type 2 - Corrugated metal panel at gable locations.	✓	
	Interior Type 1 - Paint on CMU.	🔨	New paint is recommended. Several openings are damaged and in need of repair.
	Interior Type 2 - Paint or vinyl wall covering on gypsum wall board. Finishes are in fair condition.	✗	Vinyl wall covering should be removed on any GWB wall at exterior locations to prevent possibility of mold infiltration. Interior framed walls should be reconstructed.
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	✓	
Roof	System 1: Metal roof panels on metal framing. No evidence of leaking was observed.	✓	
	System 2: Asphalt shingles on wood deck on wood trusses. No evidence of significant leaking was observed.		

Exterior

Rotten Wood At Roof Eave

Shop Interior

BUILDING G - CARPENTERS SHOP BUILDING: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	The existing windows appear to be the original single pane glass. Many openings are cracked or missing.	Full replacement of windows is recommended.
Exterior Doors	Type 1: Hollow Metal Doors. Minor surface rust was noted on exterior hollow metal doors.	Mitigate rust by applying rust-inhibiting primer and new paint.
	Type 2: Roll up metal doors. Appear to be functional.	

BUILDING G - CARPENTERS SHOP BUILDING: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	System 1: Carpet. Glued down sheet carpet is in fair condition. (Offices)	Replace carpet and tile.
	System 2: Ceramic Tile. Varied sizes and colors and in fair condition. (Toilet rooms and lobby areas)	
	System 3: Sealed concrete. Warehouse areas. Fair condition.	
Ceiling System	Type 1: Office spaces have standard sound absorbent 2x2 or 2x4 acoustic ceiling tile. There has been some exposure to moisture which is evidenced by the sagging tiles.	Remove and replace ceiling tiles.

Rusting Window Panes

Broken Window Glass

Office Area

BUILDING G - CARPENTERS SHOP BUILDING: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are in fair condition.	Retain main electrical panels.
Emergency Lighting	None exists.	Remove and replace all other electrical systems.
General Lighting	Old and obsolete T12 fluorescent fixtures.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete; poorly installed and routed.	

BUILDING G - CARPENTERS SHOP BUILDING: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Cooling	Building currently has a single wall-mounted AC unit in the office space on the northeast corner of the building.	Demolish existing cooling and heating systems. Install new heat pumps and controls as necessary for new building use.
Heating	Heating in office area is provided as part of the cooling system. Heating in the fabrication shop is provided by an electric unit heater and a fan heater unit.	Demolish existing ductwork. Install new insulated galvanized steel ductwork as needed for new systems.
Exhaust	There are two roof mounted exhaust fans serving the two toilet rooms and a propeller exhaust fan serving the fabrication shop. All fans appear to be beyond their serviceable life.	Demolish all exhaust fans and associated ductwork. Install new exhaust fans and ductwork to serve new building use as necessary.

BUILDING G - CARPENTERS SHOP BUILDING: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Toilet Rooms	There are three toilet rooms in the building. The plumbing fixtures in the toilet rooms are in poor condition.	Demolish existing plumbing fixtures and piping in toilet rooms back to utility connections. Install new fixtures to meet current code requirements.
Piping	Existing water and waste piping is concealed.	
Hot Water Systems	None.	
Other	There is an existing air compressor and associated piping in the southeast corner of the building.	

Storefront

Shop

Toilet Room

BUILDING G - CARPENTERS SHOP BUILDING: ASBESTOS, LEAD, MOLD, AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	12″ x 12″ off-white floor tile with tan mastic in Northeast office restroom, Restroom 108.	Mitigate all asbestos.
	Gray caulk on windows in North office windows, Business 106.	
Lead	Pale green paint on concrete walls in shop area.	Mitigate all lead.
	Pale green paint on wood walls in shop area storage. Blue paint and cream paint on wood door of shop area restroom, Restroom 109.	
	Tan paint on wood walls, trim, and door in South restroom, Restroom 101.	
	White paint on metal fascia on north exterior wall.	
	Black paint on exterior metal door to Restroom 101.	
	Blue/Gray paint on metal doors and frames on north exterior of building.	
Mold	Mold was found.	Mitigate all mold.
Termites	Evidence of termites was found.	Treat for termites.

Complete environmental technical reports are available as supplemental documents.

BUILDING G - CARPENTERS SHOP BUILDING

General Condition Conclusion

The warehouse area is in fair condition. With structural mitigation, it could be used for manufacturing or warehouse uses that do not require significant humidity or temperature control. The office areas should be completely renovated if they are to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes.

See Sheet LS100 in Section 7.4 for conducted building code analysis on existing structure.

Toilet rooms do not appear to meet current FBC 2010 requirements.

Life safety and egress requirements do not appear to meet current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are not compliant with the current code requirements.

Building G - Carpenters Shop Building

Critical Repairs Needed

In order to prevent further decline, immediately replace all windows and provide structural mitigation to stabilize walls.

Potential Future Reuse

Building G could be repurposed as:

- Art Studio
- Cafe
- Manufacturing Facility

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$107,818
Roof	$98,586
Windows and Doors	$95,267
Interior Finishes	$94,027
MEPF Systems	$151,522

Power District Building G - Carpenters Shop Building					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business)	1,080	SF	$10.00	$10,800.00	
Selective Demolition (Warehouse)	2,837	SF	$2.25	$6,383.25	
Termite Mitigation	1	LS	$3,800.00	$3,800.00	
HAZMAT Abatement (Asbestos, Lead Paint Mold)	3,917	SF	$4.00	$15,668.00	
					$36,651.25
Division 3					
Slab on Grade	100	CuY	$225.00	$22,500.00	
Concrete Floor Patch	0	SF	$3.00	$0.00	
					$22,500.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$50,000.00	$50,000.00	
					$50,000.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	3,917	SF	$7.00	$27,419.00	
					$27,419.00
Division 8					
Repair/Replace Existing Windows	4	ea	$550.00	$2,200.00	
New Exterior Doors	9	ea	$1,500.00	$13,500.00	
New Interior Doors	7	ea	$1,200.00	$8,400.00	
					$24,100.00
Division 9					
Painted Plaster Walls & Patching	3,917	SF	$3.50	$13,709.50	
New Painted GWB Walls	0	SF	$15.50	$0.00	
Repair Existing Floor	250	SF	$15.00	$3,750.00	
Misc. interior Ceiling Repair	1,080	SF	$5.00	$5,400.00	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	0	SF	$10.00	$0.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$22,859.50
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
New HC Lift	1	EA	$45,000.00	$45,000.00	
					$45,000.00
DIVISION 2-14 SUB-TOTAL					**$228,529.75**
MEPF SYSTEMS					
HVAC (Business)	1,080	SF	$17.50	$18,900.00	
HVAC (Warehouse)	2,837	SF	$5.50	$15,603.50	
Electrical/AV/IT (Business)	1,080	SF	$12.25	$13,230.00	
Electrical/AV/IT (Warehouse)	2,837	SF	$7.50	$21,277.50	
Plumbing (Business)	1,080	SF	$5.25	$5,670.00	
Plumbing (Warehouse)	2,837	SF	$2.00	$5,674.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$80,355.00**
SUB-TOTAL					**$308,884.75**
Contingency @ 20%					$61,776.95
SUB-TOTAL with Contingency					$370,661.70
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$29,652.94	$29,652.94
Contractor's OH&P @ 18%					**$66,719.11**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**3,917**	**SF**	**$119.00**		**$467,033.74**
				Rounded Value	$468,000.00
Estimated Core & Shell New Construction	**3,917**	**SF**	**$175.00**	$685,475.00	
Estimated demolition of existing structure	**3,917**		**$15.00**	$58,755.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$744,230.00**
Estimated Business space build out	**1,080**	**SF**	**$100.00**	$108,000.00	
Estimated Warehouse space build out	**2,837**	**SF**	**$50.00**	$141,850.00	
TOTAL ESTIMATED COST (Typical interior Build Out)					**$249,850.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**3,917**	**SF**	**(~$250/SF)**		**$994,080.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING G - CARPENTERS SHOP BUILDING

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	STORAGE (S1)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	2 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	17,500 GSF

GROSS BUILDING AREA

GROUND FLOOR GROSS AREA:	3,917 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

GROUND FLOOR:		
NET FLOOR AREA (B)(1 OCC./100 GSF):	273 NSF	(3)
NET FLOOR AREA (STORAGE/FACTORY/MECH.): (S1/F1/M)(1 OCC./300 NSF)	3,291 NSF	(11)
TOTAL OCCUPANT LOAD :		14 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	STORAGE
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34 CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	0 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

MINIMUM PLUMBING FACILITIES:

WATER CLOSETS:	1 PER 100 = 1 REQUIRED
LAVATORIES:	1 PER 100 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 1000= 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING G - CARPENTERS SHOP BUILDING

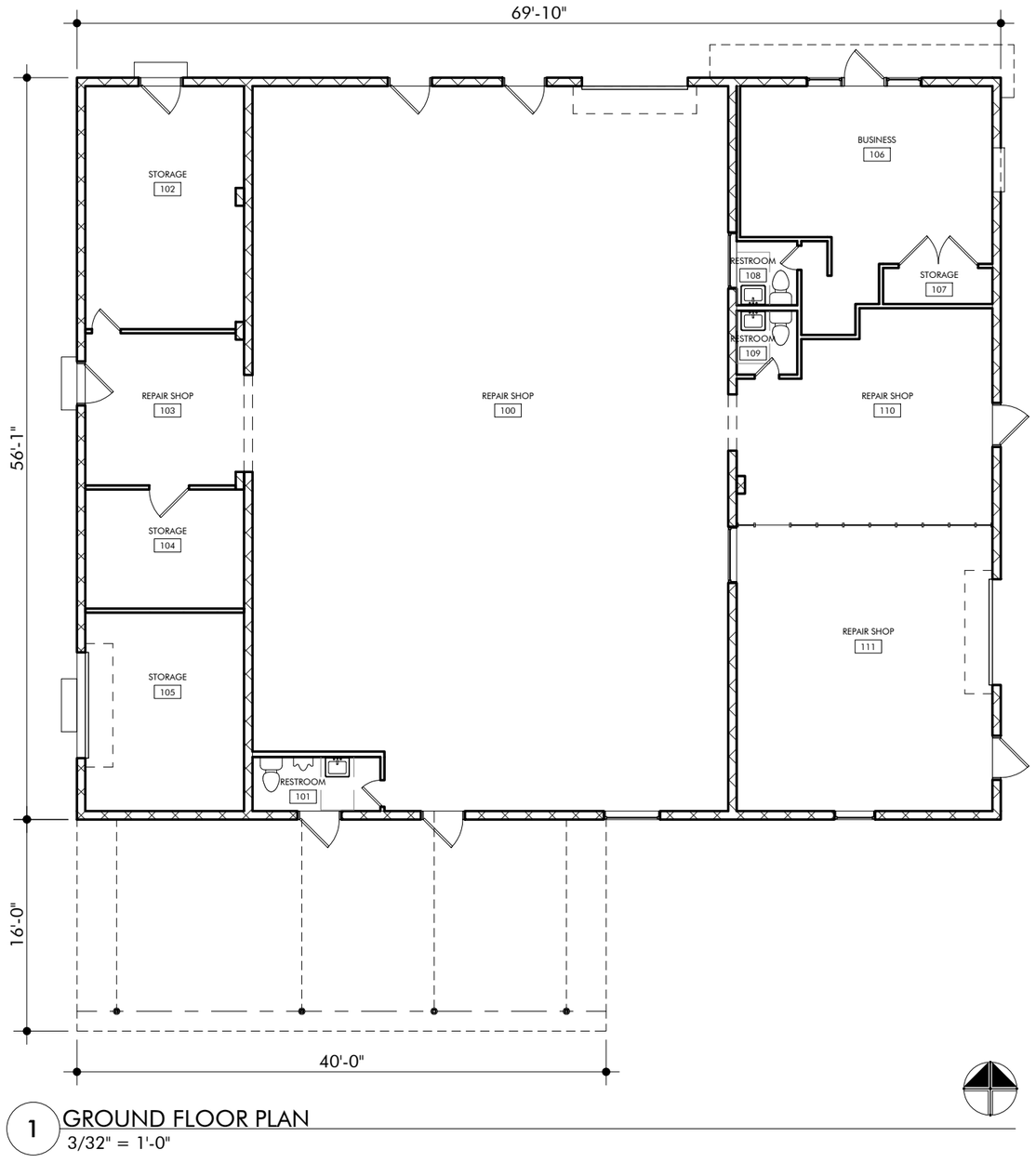
DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: BUILDING CODE SUMMARY

ISSUE DATE: 5/22/2015

SHEET NO.: LS100



1 GROUND FLOOR PLAN
3/32" = 1'-0"

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	REPAIR SHOP	1,926 SF
101	RESTROOM	39 SF
102	STORAGE	219 SF
103	REPAIR SHOP	137 SF
104	STORAGE	108 SF
105	STORAGE	180 SF
106	BUSINESS	273 SF
107	STORAGE	23 SF
108	RESTROOM	22 SF
109	RESTROOM	22 SF
110	REPAIR SHOP	280 SF
111	REPAIR SHOP	418 SF

TOTAL AREA : 3917 GSF

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING G - CARPENTERS SHOP BUILDING

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: GROUND FLOOR PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A110

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING

Building Location: Southeast Depot Avenue, Gainesville, FL 32601

Building Size: 8,640 GSF

Number of Floors: 1

Property Type: Office/Warehouse

Property Use Type: Vacant

Area Square Footages:

- Ground Floor: 8,640 GSF

Square Footage By Type
(Does not include Restrooms or Corridors):

- Business: 3,433 NSF
- Storage: 3,376 NSF

Building H - Water Distribution Construction Building

Initial survey of the entire facility revealed that most building components are in above average condition and may be demolished, reused, relocated or sold as deemed appropriate by the Owner. At a minimum, a new ceiling system, floor finishes, casework and paint should be provided. Where mold is present, the finishes should be completely removed and replaced.

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: STRUCTURAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Building Foundations	Typical spread concrete footings are assumed (no subsurface investigations performed and no existing drawings exist). All indications are that the foundation system is performing as designed without issue.	
Wall Systems	Exterior Type 1 - Paint on CMU.	New paint is recommended.
	Interior Type 1 - Paint on CMU.	
	Interior Type 2 - Paint or vinyl wall covering on gypsum wall board. Finishes are in fair condition. Mold growth was observed in several areas.	Full removal of interior finishes is recommended.
Floor System	Type 1: First Floor - Poured-in-place concrete slab (slab on grade)	
Roof	System 1: Built up roof system on metal deck on steel roof trusses. Water damage was observed in a few portions of the interior which indicates a roof leak may be present. No other evidence of roof leaking was observed.	Repair water damage and roof leaks.

Roof Deck

Mold Growth On Interior Wall

Water Damaged Ceiling Tiles

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: EXTERIOR OPENINGS

SYSTEM	CONDITION	RECOMMENDATION
Exterior Windows	All exterior storefront glazing and sealant systems are in fair condition. No leaks or potential leaks were noted on initial walk-through.	
Exterior Doors	Type 1: Storefront Doors. Door hardware, glazing and frame systems are all in working order.	Rekeying, new seals and closing hardware are recommended.
	Type 2: Hollow Metal Doors. Minor surface rust was noted on exterior hollow metal doors.	Mitigate rust by applying rust-inhibiting primer and new paint.
	Type 3: Roll up doors. Doors appear to be functional.	

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: ARCHITECTURAL FINISHES

SYSTEM	CONDITION	RECOMMENDATION
Floor Coverings	System 1: Glue down carpet. Carpet is moderate/poor condition.	Replacement of all floor coverings is recommended.
	System 2: Ceramic Tile. Varied sizes and colors and in fair condition. (Toilet rooms and lobby areas)	
	System 3: Sealed concrete. Fair condition.	
	System 4: VCT 12x12. Fair condition.	
Ceiling System	Type 1: Office spaces have standard sound absorbent 2x2 or 2x4 acoustic ceiling tile. There has been some exposure to moisture which is evidenced by the sagging tiles.	Remove and replace ceiling tiles.

Storefront

Sagging Ceiling Tiles And Worn Carpet

Break Area With Sagging Ceiling Tiles

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: ELECTRICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Electrical Distribution Equipment	Panels are old and obsolete.	Gut and replace all electrical systems.
Emergency Lighting	None exists.	
General Lighting	Old and obsolete T12 fluorescent fixtures.	
Lighting Controls	No automatic or occupancy sensors.	
Fire Alarm System	There is no existing fire alarm system.	
Exit Signage	Inadequate.	
Telecom	Cabling is old and obsolete; poorly installed and routed.	

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: MECHANICAL SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Cooling	Cooling: Building is partially conditioned by two packaged rooftop AC units and one split-system AC unit. All units appear to be beyond their serviceable life. Ductwork is comprised of galvanized steel ducts and ductboard. The ductboard has visible mold growth.	Demolish and replace existing cooling and heating systems with new heat pumps and controls.
Heating	Heating provided as part of each cooling system.	Demolish existing ductwork. Install new insulated galvanized steel ductwork.
Exhaust	There are five exhaust fans serving the building. Three fans are on the roof, two of which serve the east locker and toilet rooms. The other serves the west toilet room. The toilet rooms to the south each have a wall-mounted propeller exhaust fan.	Replace exhaust fans and ductwork serving toilet rooms.
Controls	Controls were not operable at the time of our visit.	

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: PLUMBING SYSTEMS

SYSTEM	CONDITION	RECOMMENDATION
Toilet Rooms	There is one toilet room on the west side of the building, two on the south exterior wall, and a large gang toilet and locker room on the east end of the building. All plumbing fixtures appear to be in poor condition.	Demolish existing plumbing fixtures and piping in toilet rooms back to utility connections. Install new fixtures to meet current code requirements.
Piping	Existing water and waste piping is concealed in all toilet rooms. Unconditioned storage areas have multiple water pipes stubbed into the spaces.	
Hot Water Systems	There is an existing 3,500 watt, 120 gallon electric water heater serving the locker room. The water heater appears to be in serviceable condition. A 4,500 watt 30 gallon electric water heater serves the south toilet rooms and the sink in the break room. The water heater casing is rusted.	Demolish existing water 30 gallon heating system. Install water heaters as necessary for new layout. The existing 120 gallon water heater may be reused after sterilization and inspection.
Other	There is one sink on the west side of the building and one water cooler on the east side of the building.	Demolish existing water cooler and sink. Install new water cooler and sink to serve new tenant layout.

Broken Tile

Electrical Panel

Locker Room

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING: ASBESTOS, LEAD, MOLD, AND TERMITES

ASSESSMENT	RESULT	RECOMMENDATION
Asbestos	Gray caulk on windows at Western-most entrance, Business 100.	 Mitigate all asbestos.
	Gray flashing on parapet walls and equipment in West roof section.	
	Silver flashing on sides and tops of parapet walls in central roof section.	
	Asphalt flashing on parapet walls and equipment in East roof section.	
Lead	Brown paint on interior metal doors and frames in the West section of building.	 Mitigate all lead.
	Gray paint on interior metal doors and frames in the East section of building.	
	Blue/Gray paint on exterior metal doors and frames in the central section of building.	
	Yellow paint on north exterior concrete sidewalk.	
Mold	Mold was found.	 Mitigate all mold.
Termites	Evidence of subterranean termites was found.	 Treat for termites.

Complete environmental technical reports are available as supplemental documents.

BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING

General Condition Conclusion

The warehouse area is in fair condition and could be used as-is for manufacturing or warehouse uses that do not require significant humidity or temperature control. The overall office area is in poor condition and should be completely renovated if it were to be reused. The office renovation scope of work includes, but is not limited to floor, wall and ceiling finishes.

See Sheet LS100 in Section 8.4 for conducted building code analysis on existing structure.

Toilet rooms do not appear to meet current FBC 2010 requirements.

Life safety and egress requirements do not appear to meet current FBC 2010 and 5th Edition Florida Fire Prevention Code requirements.

The existing building was designed to meet all applicable codes of the time it was constructed. Though the code has changed since the construction, the majority of the building systems and components are not compliant with the current code requirements.

Building H - Water Distribution Construction Building

Critical Repairs Needed

In order to prevent further decline, immediately cap plumbing and repair roof leaks.

Potential Future Reuse

Building H could be repurposed as:

- Art Studios
- Cafe
- Offices

Conceptual Cost Model Summary (Renovation to Core and Shell)

The projected cost items below represent the amount that should be budgeted per task and include a 20% contingency, contractor fees and design fees. A detailed Cost Model Summary follows on the next page. This cost model is only an estimate based on current market value of services and materials. 1% per month escalation should be factored into all project totals shown in this report.

Demolition	$285,995
Roof	$299,030
Windows and Doors	$160,330
Interior Finishes	$179,600
MEPF Systems	$280,844

Power District Building H - Water Distribution Construction Building					
Conceptual Cost Model (Renovation to Core & Shell)					
Gainesville CRA					
	Number	Units	Cost/Unit	Cost	Sub-Totals
Division 2					
Selective Demolition (Business)	2,817	SF	$10.00	$28,170.00	
Selective Demolition (Warehouse-Full Demolition)	3,863	SF	$25.00	$96,575.00	
Termite Mitigation	1	LS	$2,400.00	$2,400.00	
HAZMAT Abatement (Asbestos, Lead Paint, Mold)	6,680	SF	$4.00	$26,720.00	
					$153,865.00
Division 3					
Slab on Grade	100	CuY	$225.00	$22,500.00	
Concrete Floor Patch	0	SF	$3.00	$0.00	
					$22,500.00
Division 4					
CMU	0	SF	$15.00	$0.00	
					$0.00
Division 5					
Misc. Structural Repairs	1	LS	$5,000.00	$5,000.00	
					$5,000.00
Division 6					
Custom Millwork: (Not included in Core & Shell)	0	LF	350.00	$0.00	
					$0.00
Division 7					
Roof replacement	6,680	SF	$25.00	$167,000.00	
					$167,000.00
Division 8					
Repair/Replace Existing Windows	4	ea	$550.00	$2,200.00	
New Exterior Doors	7	ea	$1,500.00	$10,500.00	
New Interior Doors	13	ea	$1,200.00	$15,600.00	
					$28,300.00
Division 9 Int. Finish Core & Shell					
Painted Plaster Walls & Patching	6,680	SF	$3.50	$23,380.00	
New Painted GWB Walls	0	SF	$15.50	$0.00	
Repair Existing Floor	500	SF	$15.00	$7,500.00	
Misc. interior Ceiling Repair	6,680	SF	$1.75	$11,690.00	
New Carpet Tile	0	SF	$4.00	$0.00	
New VCT	0	SF	$2.00	$0.00	
New Porcelain Tile Flooring Repair/Patching	500	SF	$10.00	$5,000.00	
New Ceramic Tile Wall Covering	0	SF	$4.00	$0.00	
New Lay-In Ceiling	0	SF	$3.50	$0.00	
					$47,570.00
Division 10					
New Toilet Partitions	0	stalls	$1,000.00	$0.00	
Interior Specialty Signage	0	LS	$10,000.00	$0.00	
					$0.00
Division 11					
Not Used					
Division 12					
New Manual Window Shades	0	EA	$650.00	$0.00	
					$0.00
Division 13					
Not Used					
Division 14					
N/A	0	EA	$0.00	$0.00	
					$0.00
DIVISION 2-14 SUB-TOTAL					**$424,235.00**
MEPF SYSTEMS					
HVAC (Business)	2,817	SF	$17.50	$49,297.50	
HVAC (Warehouse)	3,863	SF	$5.50	$21,246.50	
Electrical/AV/IT (Business)	2,817	SF	$12.25	$34,508.25	
Electrical/AV/IT (Warehouse)	3,863	SF	$7.50	$28,972.50	
Plumbing (Business)	2,817	SF	$5.25	$14,789.25	
Plumbing (Warehouse)	3,863	SF	$0.00	$0.00	
Fire Protection	1	LS	$0.00	$0.00	
DIVISION 21, 22, 23 & 26 SUB-TOTAL					**$148,814.00**
SUB-TOTAL					**$573,049.00**
Contingency @ 20%					$114,609.80
SUB-TOTAL with Contingency					$687,658.80
Design Fees (Includes Design and CA)					
Professional Design Fees @ 8%	1	LS		$55,012.70	$55,012.70
Contractor's OH&P @ 18%					**$123,778.58**
TOTAL ESTIMATED COST (Core & Shell Renovation)	**6,680**	**SF**	**$130.00**		**$866,450.09**
				Rounded Value	$867,000.00
Estimated Core & Shell New Construction	**6,680**	**SF**	**$175.00**	$1,169,000.00	
Estimated demolition of existing structure	**6,680**	**SF**	**$15.00**	$100,200.00	
TOTAL ESTIMATED COST (Core & Shell New Construction)					**$1,269,200.00**
Estimated Business space build out	**2,817**	**SF**	**$100.00**	$281,700.00	
Estimated Warehouse space build out	**3,863**	**SF**	**$50.00**	$193,150.00	
TOTAL ESTIMATED COST (Typical interior Build Out)					**$474,850.00**
TOTAL ESTIMATED COST (New Building with Similar Program)	**6,680**	**SF**	**(~$250/SF)**		**$1,744,050.00**

***Note: 1% escallation per month should be factored into total project costs**

BUILDING CODE SUMMARY

ARCHITECT'S PROJECT NO.: 14062 - BUILDING H - WATER DISTRIBUTION CONSTRUCTION BUILDING

APPLICABLE CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA BUILDING CODE, EXISTING BUILDING (FBC-EB)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5TH EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

BUILDING INFORMATION & LIMITATIONS

BUILDING OCCUPANCY CLASS:	MIXED USE: BUSINESS (B)/STORAGE (S1)
CONSTRUCTION TYPE:	TYPE III B
SPRINKLERED:	NO
ALLOWABLE BUILDING HEIGHT:	2 STORIES (55')
ALLOWABLE BUILDING AREA (PER STORY):	17,500 GSF

GROSS BUILDING AREA

FIRST FLOOR GROSS AREA:	8,640 GSF

AREAS & OCCUPANT LOAD CALCULATIONS

FIRST FLOOR:		
NET FLOOR AREA (B)(1 OCC./100 NSF):	3,006 NSF	(31)
NET FLOOR AREA (S/M)(1 OCC./300 GSF):	3,773 NSF	(13)
OCCUPANT LOAD :		44 OCC.

MEANS OF EGRESS

PRIMARY OCCUPANCY CLASS:	BUSINESS (B)/STORAGE (S1)
MAX. TRAVEL DISTANCE:	200'
MIN. NUMBER OF EXITS:	2 REQUIRED PER STORY
MIN. EGRESS CORRIDOR WIDTH:	44" CLEAR
MIN. EGRESS DOOR WIDTH:	34" CLEAR
MAX. DEAD END CORRIDOR:	20'

FIRE SEPARATION:

CORRIDORS:	1 HOUR RATED

EMERGENCY ILLUMINATION: REQUIRED

FIRE ALARM: NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (F.E.)

MAX. TRAVEL DISTANCE TO F.E.:	75'
MIN. NUMBER OF F.E. (1 F.E. / 11,250 GSF):	1 REQUIRED

MINIMUM PLUMBING FACILITIES (B):

WATER CLOSETS:	1 PER 25 = 2 REQUIRED
LAVATORIES:	1 PER 40 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 100 = 1 REQUIRED
SERVICE SINK:	0 REQUIRED

MINIMUM PLUMBING FACILITIES (S1):

WATER CLOSETS:	1 PER 100 = 1 REQUIRED
LAVATORIES:	1 PER 100 = 1 REQUIRED
DRINKING FOUNTAINS:	1 PER 1000 = 1 REQUIRED
SERVICE SINK:	1 REQUIRED

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING H - WATER DISTRIBUTION CONSTRUCTION

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: BUILDING CODE SUMMARY

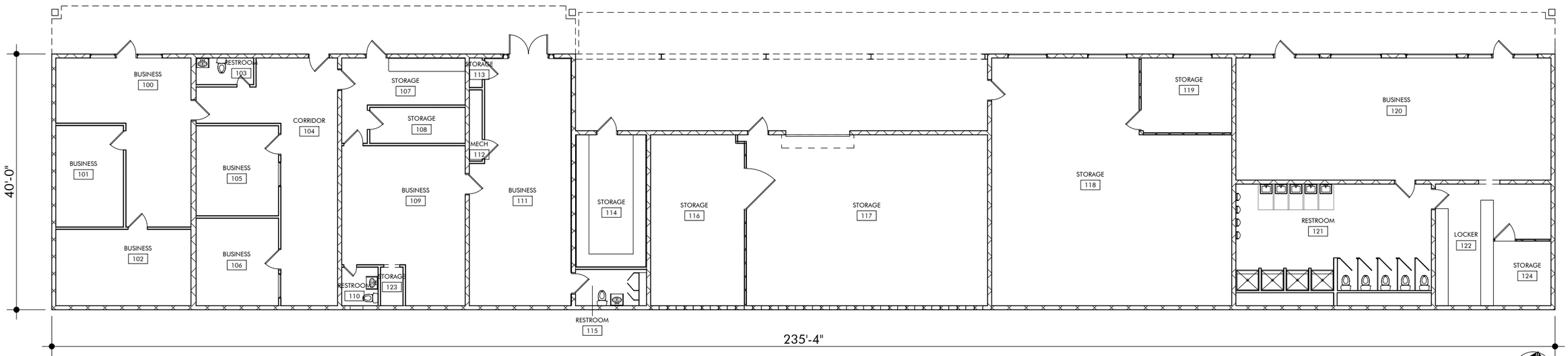
ISSUE DATE: 5/22/2015

SHEET NO.: LS100

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
100	BUSINESS	380 SF
101	BUSINESS	168 SF
102	BUSINESS	252 SF
103	RESTROOM	37 SF
104	CORRIDOR	436 SF
105	BUSINESS	181 SF
106	BUSINESS	176 SF
107	STORAGE	166 SF
108	STORAGE	83 SF
109	BUSINESS	419 SF
110	RESTROOM	34 SF

TOTAL AREA: 8640 GSF

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
111	BUSINESS	575 SF
112	MECH	22 SF
113	STORAGE	9 SF
114	STORAGE	226 SF
115	RESTROOM	63 SF
116	STORAGE	391 SF
117	STORAGE	1,010 SF
118	STORAGE	1,282 SF
119	STORAGE	166 SF
120	BUSINESS	941 SF
121	RESTROOM	500 SF
122	LOCKER	251 SF
123	STORAGE	21 SF
124	STORAGE	91 SF



1 GROUND FLOOR PLAN
1/16" = 1'-0"

WALKER ARCHITECTS
4055 NW 43RD STREET, STE 28
GAINESVILLE, FL 32606
V: 352 . 672 . 6448
F: 352 . 672 . 6468
WWW . WALKER-ARCH . COM
AA26002009
JOSEPH B. WALKER, AIA
LICENSE NO. AR0017272

POWER DISTRICT ANALYSIS - BUILDING H - WATER DISTRIBUTION CONSTRUCTION

DRAWN BY: OAG

WA PROJECT NO.: 14062

SHEET TITLE: GROUND FLOOR PLAN

ISSUE DATE: 5/22/2015

SHEET NO.: A110